

STREETS AT SOUTHGLENN

MASTER DEVELOPMENT PLAN

AMENDMENT NO. 8

PART OF THE NE 1/4 OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO

VESTING

APPROVAL OF THIS MASTER DEVELOPMENT PLAN (MDP) CREATES A VESTED PROPERTY RIGHT SUBJECT TO ALL CONDITIONS OF APPROVAL PURSUANT TO COLORADO REVISED STATUTES §24-68-103. THE EFFECTIVE DATE IS JUNE 15, 2006.

STATEMENT OF INTENT

THE INTENT OF THIS MASTER DEVELOPMENT PLAN (MDP) IS TO ESTABLISH THE GENERAL GUIDELINES FOR THE REDEVELOPMENT OF SOUTHGLENN MALL INTO A MIXED USE PROJECT CONSISTING OF COMMERCIAL, RETAIL, OFFICE, AND RESIDENTIAL USES. THE MDP WILL PROVIDE THE FRAMEWORK AND CONDITIONS FOR APPROVAL OF SUBSEQUENT ADMINISTRATIVE SITE PLANS (ASP) DEPICTING SPECIFIC BUILDING ARCHITECTURE, LANDSCAPING, LIGHTING, AND SITE DESIGN DETAILS.

THE STREETS OF SOUTHGLENN IS ENVISIONED AS A REDEVELOPMENT THAT IS AN UPSCALE URBAN MIXED-USE LIFESTYLE VILLAGE DESIGNED FOR THE PEDESTRIAN. THE CHARACTER OF THE STREETS THROUGH WHICH THE VILLAGE IS EXPERIENCED IS TO BE DESIGNED WITH INTENTION TO CREATE A UNIQUE AND SOPHISTICATED ENVIRONMENT THAT IS APPEALING TO THE RESIDENTS WHO LIVE THERE AND TO ALL WHO WORK, SHOP AND ENJOY THE AMENITIES OF THE PROJECT.

IN ADDITION TO THE 35 PLAN SHEETS CONTAINED HEREIN, THE ARCHITECTURAL DESIGN GUIDELINES, DATED APRIL 12, 2006, AND THE TENANT SIGN CRITERIA, DATED MAY 1, 2007 PREPARED FOR THE STREETS AT SOUTHGLENN OR LATEST AMENDMENT THEREOF ARE CONSIDERED TO BE INTEGRAL TO AND A PART OF THE MASTER DEVELOPMENT PLAN.

PROPOSED USE:

MIXED USE - PLANNED UNIT DEVELOPMENT

USE STANDARDS

ALLOWED USES

GENERAL OFFICE USES:

GENERAL OFFICE USES INCLUDE GENERAL OFFICE SPACE THAT IS USED FOR A VARIETY OF SERVICES, INCLUDING, BUT NOT LIMITED TO:

- ADMINISTRATIVE AND EXECUTIVE OFFICES
- BANKS OR FINANCIAL INSTITUTIONS WITH OR WITHOUT DRIVE-THROUGH FACILITIES
- COLLEGES OR UNIVERSITIES
- COMMUNITY MEETING FACILITY
- CONSULTING SERVICES OFFICES (BUSINESS AND PROFESSIONAL)
- DESIGN PROFESSIONALS
- INSURANCE AND INVESTMENT OFFICES
- MEDICAL/HEALTH CARE, AND DENTAL
- NURSERY SCHOOL OR DAYCARE CENTER

COMMUNITY BUSINESS USES:

COMMUNITY BUSINESS USES INCLUDE RETAIL SALES AND SERVICES THAT MEET THE NEED OF THE COMMUNITY, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

- APPLIANCE STORE
- AUTOMOBILE REPAIR (RESTRICTED TO EXISTING SEARS AUTOMOTIVE)
- AUTOMOBILE PARKING LOT
- BEAUTY SALON OR BARBER SHOP
- BILLIARD PARLOR OR POOL HALL
- BOOKSELLER
- BAKERIES, CATERING SERVICES, CONFECTION SHOPS ETC.
- BOWLING ALLEY, TENNIS CLUB, SKATING RINK, HEALTH CLUB, SWIM CLUB OR SIMILAR RECREATIONAL
- CONVENIENCE STORE WITH OR WITHOUT GAS PUMPS
- DEPARTMENT STORE
- DRY GOOD STORE
- ENTERTAINMENT CENTER OR AMUSEMENT ARCADE
- FITNESS CLUB
- FLOWER SHOP OR PLANT STORE
- FURNITURE STORE
- GROCERY OR MARKET
- HARDWARE SALES
- HOME OR CONSUMER ELECTRONICS STORE
- HOME FURNISHINGS OR ACCESSORIES
- KIOSK RELATED RETAIL SALES
- LAUNDRY AND DRY-CLEANING PICK-UP SERVICES (NO DRY-CLEANING PLANT)
- LIQUOR AND WINE SALES
- NIGHT CLUB, PUBS, BARS OR TAVERNS WITH OR WITHOUT LIVE ENTERTAINMENT/DANCING
- OFFICE SUPPLY STORE
- PARKING STRUCTURES OR FACILITIES
- PET STORE AND ASSOCIATED SERVICES
- PHARMACY AND DRUG STORES
- QUASI-PUBLIC AGENCIES
- REPAIR OR RENTAL SERVICES (SHOE REPAIR, BICYCLE OR SKI EQUIPMENT RENTALS, ETC)
- RESTAURANTS CAFES OR BISTROS WITH OR WITHOUT DRIVE THROUGH FACILITIES OR WITH OR WITHOUT SIDEWALK SEATING AREAS AND WITH OR WITHOUT LIQUOR SALES
- RETAIL SALES
- SCHOOLS, PRIVATE OR PUBLIC
- SECURITY, POLICE OR MANAGEMENT OFFICES
- SPORTING GOODS STORE
- STUDIOS (PHOTOGRAPHIC, DANCE, ART, RADIO/TV, ETC)
- THEATRE/CINEMA
- THERAPEUTIC MASSAGE, DAY SPA OR SIMILAR HEALTH-RELATED USES
- TRANSIT STOP FACILITY
- WOMEN'S OR MEN'S APPAREL, CLOTHING, SHOE AND ACCESSORY STORES

HOTEL (LUXURY OR BUSINESS CLASS)

A LUXURY OR BUSINESS CLASS HOTEL IS A HOTEL ORIENTED TO BUSINESS TRAVELERS THAT OFFERS GUEST SERVICES AND FACILITIES, WHICH INCLUDE ANY COMBINATION OF, BUT ARE NOT LIMITED TO, CONCIERGE, VALET, SHUTTLE, RESTAURANT (OPERATED BY OR INTEGRATED WITH THE HOTEL), DRY CLEANING AND LAUNDRY, AND WHERE GUEST ROOMS ARE APPOINTED WITH UPSCALE FURNISHINGS AND AMENITIES.

WIRELESS COMMUNICATION FACILITIES

WIRELESS COMMUNICATION FACILITIES (WCFs) WITHIN THE STREETS OF SOUTHGLENN MASTER DEVELOPMENT PLAN SHALL FOLLOW THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE (LDC) SECTIONS 12-2-305, 12-2-425, AND 12-14-601 AS APPLICABLE TP PLANNED UNIT DEVELOPMENTS.

PERMITTED ACCESSORY USE:

CAR WASH/AUTO DETAILING FACILITIES WILL BE ALLOWED ONLY WITHIN A PARKING STRUCTURE (ABOVE OR BELOW-GROUND) AS A SECONDARY AND INCIDENTAL USE TO THE PARKING STRUCTURE FOR THE USE OF RESIDENTIAL OWNERS OR THE SHOPPING PUBLIC. NO SUCH CAR WASH/AUTO DETAILING FACILITY, INCLUDING SIGNAGE, SHALL BE VISIBLE FROM THE PUBLIC RIGHTS-OF-WAY.

CIVIC USES:

- COMMUNITY MEETING ROOM
- LIBRARY
- POLICE SUBSTATION

RESIDENTIAL USES:

- SINGLE FAMILY ATTACHED DWELLING UNIT, APARTMENT OR CONDOMINIUM
- MULTI-FAMILY DWELLING UNIT, APARTMENT OR CONDOMINIUM
- MOTHER IN-LAW APARTMENT/DWELLING UNIT
- RESIDENCE REQUIRED FOR CARETAKER OR NIGHT WATCHMAN
- HOME OCCUPATION

TEMPORARY USES:

- SIDEWALK OR TENT SALES
- FAIR, FESTIVAL OR CARNIVAL
- FRUIT STANDS OR FARMER'S MARKET, FOOD SALES AND LIQUOR SALES
- RESIDENTIAL SALES OFFICES*
- PHARMACY SALES*
- CONSTRUCTION OFFICES*

ALL OTHER USES NOT SPECIFICALLY LISTED ABOVE SHALL BE CONSIDER AS AN ALLOWED USE IF, IN THE OPINION OF THE ZONING ADMINISTRATOR, THEY ARE SIMILAR IN CHARACTER TO PERMITTED USES IN THIS DISTRICT, AND ARE IN CONFORMANCE WITH THE INTENT OF THIS DISTRICT.

* TEMPORARY USES ASSOCIATED WITH CONSTRUCTION OF THE PROJECT SHALL BE PERMITTED IN ACCORDANCE WITH ORDINANCE NO. 2006-0-03 AND PURSUANT TO THE TERMS OF MASTER DEVELOPMENT AGREEMENT WITH THE CITY OF CENTENNIAL.

PROHIBITED USES:

- ANIMAL HOSPITAL/KENNEL
- AUTOMOBILE SERVICE STATION AND REPAIR EXCLUSIVE OF EXISTING AUTOMOTIVE SERVICE ON SEARS PROPERTY (LOT 1 AS SHOWN ON SHEET 7)
- AUTOMOBILE, TRUCK, TRAILER OR BOAT STORAGE
- AUTOMOBILE SALES AND AUTO BODY REPAIRS
- BUILDING MATERIAL SALES
- MANUFACTURING FACILITIES OR SHOPS
- MINI-STORAGE OR SELF STORAGE FACILITIES (INDOOR OR OUTDOOR)
- OUTDOOR STORAGE FACILITIES
- SEXUALLY ORIENTED BUSINESS
- SPECIAL TRADE CONTRACTORS

GROSS FLOOR AREA

TOTAL SITE AREA	72,148 AC
MAXIMUM PERMITTED NON-RESIDENTIAL DEVELOPMENT	2,000,000 SF
MAXIMUM RESIDENTIAL UNITS	1,125 UNITS (1)
MINIMUM RETAIL AREA	621,000 SF

(1) A MAXIMUM OF 550 RESIDENTIAL UNITS ARE PERMITTED ACROSS LOTS 2, BLOCK 1, FILING NO.2, LOT 3, BLOCK 1, FILING NO.3, AND A MAXIMUM OF 575 RESIDENTIAL UNITS ARE PERMITTED ACROSS ALL REMAINING LOTS INCLUDING THE 350 AUTHORIZED IN THE ORIGINAL MDP 342-33 OF JUNE 14, 2007.

A MDP AMENDMENT WILL BE REQUIRED IF THE PROJECT CHANGES IN TERMS OF AN INCREASE IN RESIDENTIAL UNITS OR A DECREASE IN RETAIL SQUARE FOOTAGE.

ALTHOUGH RETAIL SQUARE FOOTAGE DEVELOPED ON THE SOUTH DEVELOPMENT AREA, IF ANY COUNTS TOWARDS THE MINIMUM RETAIL AREA, THE OWNER OF THE SOUTH DEVELOPMENT AREA IS NOT OBLIGATED BY THIS MDP TO CONSTRUCT ANY RETAIL SQUARE FOOTAGE; PROVIDED, HOWEVER, THAT ANY FAILURE TO MEET THE REQUIREMENT FOR THE MINIMUM RETAIL AREA SHALL NOT REDUCE OR IN ANY WAY LIMIT THE NUMBER OF RESIDENTIAL UNITS PERMITTED WITHIN SOUTH DEVELOPMENT AREA.

SETBACKS

	OPEN PARKING	SETBACK ABUTTING PUBLIC ROW	BUILDING SETBACK
A) EAST EASTER AVENUE ⁽¹⁾	10'	25'	
B) UNIVERSITY BOULEVARD ⁽¹⁾	10'	25'	
C) ARAPAHOE ROAD ⁽⁶⁾	8'	25'	
D) RACE STREET ⁽²⁾⁽³⁾	10'	25'	
E) WITHIN PROPERTY			0'

(1) THE BUILDING SETBACK FOR LOT 2, BLOCK 1, FILING NO.2, AND LOT 3, BLOCK 1, FILING NO.3 SHALL BE 35' ADJACENT TO E EASTER AVENUE AND FIFTEEN PERCENT (15%) OF BUILDING FRONTAGE SHALL HAVE A MINIMUM SETBACK OF 75' ADJACENT TO E EASTER AVENUE.

(2) THE BUILDING SETBACK FOR LOT 2, BLOCK 1, FILING NO.2 SHALL BE 35' ADJACENT TO S RACE STREET AND FIFTEEN PERCENT (15%) OF BUILDING FRONTAGE SHALL HAVE A MINIMUM SETBACK OF 75' ADJACENT TO S RACE STREET.

(3) THE BUILDING SETBACK FOR THE PARKING GARAGE SHALL BE 20'

(4) THE PARKING SETBACK FOR BUILDING F SHALL BE 7' ADJACENT TO S. UNIVERSITY BOULEVARD EXCEPT FOR THAT PORTION ADJACENT TO THE ROW FOR BUS SHELTER WHICH SHALL BE 0'. THE PARKING SETBACK FOR BUILDING W3 SHALL BE 7' ADJACENT TO S UNIVERSITY BOULEVARD.

(5) THE BUILDING SETBACK FOR BUILDINGS W1 AND W2 SHALL BE 15' ADJACENT TO E ARAPAHOE ROAD

BUILDING HEIGHT

NO BUILDING HEIGHTS SHALL EXCEED 100 FEET AND SHALL BE RESTRICTED TO SPECIFIC LOTS AS SHOWN ON SHEET 7 OF THE ORIGINAL MDP, CASE NO. LU-0512-001 AS FOLLOWS:

LOT 3, BLOCK 1, FILING 2
LOT 13, BLOCK 1, FILING 1
LOT 8, BLOCK 1, FILING 4
LOT 1, BLOCK 1, FILING 4
LOT 2, BLOCK 1, FILING 6
LOT 2, BLOCK 1, FILING 3
LOT 2, BLOCK 1, FILING 3
MAXIMUM BUILDING HEIGHT = 50 FEET

LOT 1, BLOCK 1, FILING 5
LOT 2, BLOCK 1, FILING 5
LOT 6, BLOCK 1, FILING 4
LOT 2, BLOCK 1, FILING 2 (1)
LOT 3, BLOCK 1, FILING 3 (1)
LOT 4, BLOCK 1, FILING 3
MAXIMUM BUILDING HEIGHT = 75 FEET

LOT 5, BLOCK 1, FILING 1
LOT 6, BLOCK 1, FILING 1
LOT 4, BLOCK 1, FILING 5
LOT 8, BLOCK 1, FILING 5
LOT 5, BLOCK 1, FILING 5
LOT 3, BLOCK 1, FILING 5
LOT 2, BLOCK 1, FILING 4
MAXIMUM BUILDING HEIGHT = 100 FEET

*THE PARKING STRUCTURE AND THE SIGN MARQUEE FOR THE THEATER WITHIN LOT 3 SHALL BE PERMITTED TO HAVE A MXIMUM HEIGHT OF 75 FEET

(1) ANY PORTION OF A BUILDING WITHIN 55' OF THE PUBLIC ROW ON E EASTER AVENUE AND S RACE STREET SHALL HAVE A MAXIMUM BUILDING HEIGHT OF 50'.

PARKING REQUIREMENTS

PARKING SPACES SHALL BE PROVIDED ON SITE IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS:

RETAIL:	4 SPACES PER 1000 GFA (4/1000)
RESIDENTIAL:	1 SPACE PER BEDROOM
OFFICE:	3 SPACES PER 1000 GFA (3/1000)
SIT DOWN RESTAURANT:	10 SPACES PER 1000 GFA (10/1000)
ALL OTHER USES:	2 SPACES PER 1000 GFA (2/1000)

- PARKING LOTS SHOULD BE DESIGNED TO PROVIDE FOR DROP-OFF AREAS AND CONVENIENCE LOADING AREAS, IF REQUIRED, OUTSIDE OF DRIVE LANES AND AISLES WHERE APPROPRIATE.
- SHARED PARKING BETWEEN COMPATIBLE USES IS ENCOURAGED. A MITIGATION PLAN IS REQUIRED TO ILLUSTRATE HOW ADDITIONAL PARKING CAN BE ACCOMMODATED IN THE EVENT A USE CHANGES AND THEY BECOME INCOMPATIBLE.
- PARKING STALL SIZE SHALL BE A MINIMUM OF 8'-6" WIDE BE 18'-0" LONG. THE STALL LENGTH MAY BE REDUCED TO 16'-0" FOR THOSE STALLS OVERHANGING PERIMETER LANDSCAPE AREAS.

OPEN SPACE

OPEN SPACE WITHIN THIS MDP SHALL BE A MINIMUM OF TEN PERCENT (10%) OF THE NET LAND AREA (EXCLUDING R.O.W.). OPEN SPACE SHALL INCLUDE ALL LANDSCAPE AREAS AND HARDSCAPE AREAS FOR PEDESTRIAN USE SUCH AS SIDEWALKS, PLAZAS, COURTYARDS AND AREAS OF DECORATIVE PAVING. OPEN SPACE DOES NOT INCLUDE PARKING AREAS AND OTHER VEHICLE ORIENTED SPACE.

PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY FOR THE 149TH RESIDENTIAL UNIT LOCATED ON LOT 2, BLOCK 1, FILING NO.2, LOT 3, BLOCK 1, FILING NO.3 AND LOT 4, BLOCK 1, FILING NO.3, THE PROJECT SHALL PROVIDE A MINIMUM OF 25,000SF OF CONTIGUOUS PUBLIC OPEN SPACE, PASSIVE RECREATION, COMMON PUBLIC SQUARES OR GREEN AREAS ON LOT 2, BLOCK 1, FILING NO. 3.

NUMBER, SIZE AND LOCATIONS OF BUILDINGS

ADMINISTRATIVE SITE PLANS SHALL SUBSTANTIALLY CONFORM, IN TERMS OF LAY-OUT, TO THE SITE AND UTILITY PLAN DEPICTED ON SHEET 3 OF THIS MDP. FOR PURPOSES OF INTERPRETING THE VESTED RIGHT GRANTED WITH THIS MDP, MINOR VARIATIONS IN SITE LAYOUT WHICH DO NOT SUBSTANTIALLY DEVIATE IN TERMS OF BUILDING FOOTPRINT OR STREET LOCATION WILL BE CONSIDERED TO BE IN SUBSTANTIAL CONFORMANCE.

SIDEWALKS

SIDEWALKS SHALL BE PROVIDED ALONG ALL PUBLIC RIGHTS OF WAY AND ALONG ALL SOUTHGLENN METROPOLITAN DISTRICT OWNED AND MAINTAINED RIGHTS OF WAY ACCORDING TO CITY STANDARDS AND SHALL BE CONNECTED TO THE PRIMARY ENTRANCE OF EACH BUILDING IN A MANNER COMPLIANT WITH THE AMERICAN'S WITH DISABILITIES ACT (ADA) STANDARDS.

WINTER SOLAR SHADING

ASP SUBMITTALS SHALL COMPLY WITH THE CITY REGULATIONS REGARDING WINTER SOLAR SHADING IN EFFECT AT THE TIME OF ASP APPLICATION. BUILDINGS SHALL BE DESIGNED OF A HEIGHT AND PLACED ON THE SITE IN A MANNER WHICH MINIMIZES THE PERMANENT FULL DAY SHADING ON TO PAVED SURFACES WITHIN ADJACENT RIGHT-OF-WAY A DISTANCE EQUAL TO ITS HEIGHT (1:1 RATIO OF HEIGHT TO SETBACK)

SCREENING OF MECHANICAL EQUIPMENT, TRASH FACILITIES AND OFF-STREET LOADING

ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW AT GROUND LEVEL AND GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED WITH FENCING OR LANDSCAPING. TRASH FACILITIES SHALL BE SCREENED AND SHALL BE PLACED IN SUCH A MANNER TO MINIMIZE THE AESTHETIC IMPACT ON ADJACENT PUBLIC AREAS. SCREENING OF OFF-STREET LOADING SHALL BE PROVIDED THROUGH USE OF WALLS FINISHED WITH MATERIAL AND COLORS COMPATIBLE WITH THE BUILDING AND SHALL BE SUBJECT TO STAFF APPROVAL IN THE ASP PROCESS.

DISCREPANCIES

IF THERE ARE DIFFERENCES OR DISCREPANCIES IN THE DEVELOPMENT CRITERIA AMONG THE TERMS OF THIS PLAN OR AN EXECUTED DEVELOPMENT AGREEMENT IT SHALL BE RESOLVED BY ADHERING TO THE STRICTER STANDARD.

OWNER/DEVELOPER AUTHORIZATION OF AMENDMENTS

APPLICATION FOR AMENDMENTS TO THIS MDP SHALL BE ACCEPTED FOR PROCESSING BY THE CITY, AND SHALL BE TREATED AS AUTHORIZATION BY THE OWNERS AND DEVELOPERS OF THIS MDP SO LONG AS THE APPLICATIONS ARE SIGNED BY THE RECORD OWNERSHIP OF THE SITE UPON WHICH THE AMENDMENT WILL APPLY, WITHOUT REGARD TO WHETHER THE AMENDMENT HAS BEEN AUTHORIZED OR APPROVED BY THE OWNERS ASSOCIATION (IF ANY), TENANTS, MORTGAGEES, OR ADJACENT OWNERS WITHIN THE MDP.

EMERGENCY ACCESS

EXCEPTING PARKING STRUCTURES, DRIVE AISLES FOR EMERGENCY VEHICLE ACCESS SHALL BE A MINIMUM OF 24 FEET (24') WIDE WITH INSIDE TURNING DIMENSION OF TWENTY-ONE FEET INSIDE RADIUS (21'IR) AND FORTY-FIVE FEET OUTSIDE RADIUS (45'OR).

STREET NAMING

STREET NAMES, EXCLUDING ALL PUBLIC RIGHTS OF WAY OWNED AND MAINTAINED BY THE CITY, SHALL BE AS SHOWN ON THE MASTER DEVELOPMENT PLAN.

INFRASTRUCTURE AND COLLATERAL

COLLATERAL SHALL BE AS PROVIDED IN A MASTER DEVELOPMENT AGREEMENT EXECUTED IN CONNECTION WITH THIS MDP, AND AS MAY BE FURTHER DETAILED IN AMENDMENTS THERETO AT THE TIME OF ASP SUBMITTAL.

REQUIRED UPDATES TO TRAFFIC AND DRAINAGE PROJECTION

ALL ASP APPLICATIONS MUST COMPLY WITH THE ASSUMPTIONS AND LIMITATIONS OF THE MASTER DRAINAGE PLANS AND THE MASTER TRAFFIC STUDY, AND THE PERIODIC UPDATES TO SUCH DOCUMENTS IN THE CASE OF THE PROJECT MDP. THE CITY MAY DENY ANY ASP APPLICATION THAT DOES NOT COMPLY WITH SUCH REQUIREMENTS. EXCEPT TO THE EXTENT SUCH REQUIREMENTS ARE SUSPENDED IN WRITING BY THE CITY'S ENGINEERING DIVISION THE UPDATES SHALL CONTAIN THE FOLLOWING INFORMATION. FAILURE TO INCLUDE THE REQUIRED DOCUMENTATION WITH CONTENT CONFORMING TO THIS REQUIREMENT WILL RESULT IN THE REJECTION OF THE APPLICATION.

(A) MASTER TRAFFIC STUDY UPDATES AND ASP TRAFFIC SUBMITTAL REQUIREMENTS

WITH EACH ASP APPLICATION THE APPLICANT SHALL SUBMIT A LETTER OF COMPLIANCE DOCUMENTING THAT THE CONDITIONS WITHIN THE ASP HAVE DEVELOPED IN A PATTERN CONSISTENT WITH THE MASTER TIA, AND THAT THE TRAFFIC IMPACTS OF THE ASP WILL CONFORM TO THE ASSUMPTIONS AND LIMITATIONS OF THE MASTER TIA. IF THE CODE REQUIREMENTS RELATING TO TRAFFIC STUDIES ARE AMENDED AFTER THE APPROVAL OF THE MASTER TIA, THE UPDATES MUST ANALYZE THE INFRASTRUCTURE REQUIREMENTS AND RESTRICTIONS REQUIRED BY THE CODE AND PROVIDE A MEANS ACCEPTABLE TO THE CITY FOR COMPLYING WITH SUCH NEW REQUIREMENTS.

(B) DRAINAGE PLAN ASP SUBMITTAL REQUIREMENT

WITH EACH ASP APPLICATION, THE APPLICANT MUST SUBMIT A DRAINAGE REPORT UPDATING WITHIN THE CITY'S CONTENT AND CERTIFICATION REQUIREMENTS FOR PHASE III DRAINAGE REPORTS THAT DEMONSTRATE THAT THE SITE PLAN DRAINAGE, AND INFRASTRUCTURE WILL COMPLY WITH THE MASTER DRAINAGE PLAN.

STANDARD NOTES

THE OWNER(S) DEVELOPER(S) AND/OR SUBDIVIDER(S) OF THE MASTER DEVELOPMENT PLAN OF THE STREETS AT SOUTHGLENN, THEIR RESPECTIVE SUCCESSORS, HEIRS AND/OR ASSIGNS, AGREE TO THE FOLLOWING NOTES.

PRIVATE STREET MAINTENANCE

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE PRIVATE ROADWAYS SHOWN ON THIS PLAN ARE NOT IN CONFORMANCE WITH CITY OF CENTENNIAL ROADWAY DESIGN AND CONSTRUCTION STANDARDS AND WILL NOT BE MAINTAINED BY THE CITY. THE OWNERS, DEVELOPERS, AND OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST SHALL BE RESPONSIBLE FOR STREET MAINTENANCE.

DRAINAGE MAINTENANCE

THE SOUTHGLENN METROPOLITAN DISTRICT SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENTS. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, MAINTAINING THE SPECIFIED STORM WATER DETENTION/RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASINS. THE SOUTHGLENN METROPOLITAN DISTRICT SHALL BE RESPONSIBLE FOR MAINTAINING AND INSPECTING BOTH DETENTION VOLUMES AND WATER QUALITY FACILITIES. THE CITY OF CENTENNIAL SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME. IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED THE CITY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

EMERGENCY ACCESS

EMERGENCY ACCESS IS GRANTED HEREWITH OVER AND ACROSS ALL PAVED AREAS FOR POLICE, FIRE AND EMERGENCY VEHICLES.

DRIVES, PARKING AREAS, AND UTILITY EASEMENTS MAINTENANCE

THE OWNERS OF THIS PLAN, THEIR SUCCESSORS, AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNERS(S), HOMEOWNERS ASSOCIATION OR OTHER ENTITY OTHER THAN THE CITY OF CENTENNIAL IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AN ALL DRIVES, PARKING AREAS, AND EASEMENTS, I.E. CROSS ACCESS EASEMENTS, DRAINAGE EASEMENTS, ETC.

DRAINAGE LIABILITY

IT IS THE POLICY OF THE CITY OF CENTENNIAL THAT IT DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE DRAINAGE FACILITIES DESIGNED AND/OR CERTIFIED BY CLC ASSOCIATES. THE CITY OF CENTENNIAL REVIEWS DRAINAGE PLANS PURSUANT TO COLORADO REVISED STATUTES TITLE 31, ARTICLE 29 BUT CANNOT, ON BEHALF OF THE OWNERS WITHIN THE MDP AREA, GUARANTEE THAT FINAL DRAINAGE DESIGN REVIEW WILL ABSOLVE THE OWNERS, AND/OR THEIR SUCCESSORS AND/OR ASSIGNS OF FUTURE LIABILITY FOR IMPROPER DESIGN. IT IS THE POLICY OF THE CITY THAT APPROVAL OF THE MASTER DEVELOPMENT PLAN DOES NOT IMPLY APPROVAL OF THE DRAINAGE DESIGN OF CLC ASSOCIATES.

LANDSCAPE MAINTENANCE

THE SOUTHGLENN METROPOLITAN DISTRICT IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING, LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE FENCELINE/PROPERTY LINE AND ANY PAVED ROADWAYS.

THE SOUTHGLENN METROPOLITAN DISTRICT IS RESPONSIBLE FOR MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.

SIGHT TRIANGLE MAINTENANCE

THE OWNERS OF PRIVATE PROPERTY CONTAINING A TRAFFIC SIGHT TRIANGLE ARE PROHIBITED FROM ERECTING OR GROWING ANY OBSTRUCTIONS OVER THREE FEET IN HEIGHT ABOVE THE ELEVATION OF THE LOWEST POINT ON THE CROWN OF THE ADJACENT ROADWAY WITHIN SAID TRIANGLE.

PUBLIC IMPROVEMENTS NOTE

AFTER ADMINISTRATIVE SITE PLAN APPROVAL, ISSUANCE OF INDIVIDUAL BUILDING PERMITS WILL BE SUBJECT TO THE FOLLOWING STIPULATION AND/OR CONDITIONS PRECEDENT, WHICH OWNER AGREES TO IN CONJUNCTION WITH APPROVAL OF THE ADMINISTRATIVE SITE PLAN. SUCH BUILDING PERMITS WILL BE ISSUED ONLY AFTER THE OWNERS GUARANTEE THE CONSTRUCTION OF THE PUBLIC IMPROVEMENTS IN A FORM ACCEPTABLE TO THE CITY COUNCIL PURSUANT TO THE MASTER DEVELOPMENT AGREEMENT

MAINTENANCE EASEMENT

A MAINTENANCE EASEMENT IS REQUIRED FOR DEVELOPMENTS WITH ZERO SIDE SETBACKS IF ONE STRUCTURE IS BUILT ON THE LOT LINE. IN ORDER TO MAINTAIN STRUCTURE WITH THE ZERO SIDE SETBACK, A MAINTENANCE EASEMENT MAY BE REQUIRED ON THE ADJACENT LOT TO ENABLE MAINTENANCE TO BE PERFORMED ON SAID STRUCTURE FROM THE ADJOINING PROPERTY. EACH LOT OWNER AGREES TO ALLOW ADJACENT LOT OWNERS ACCESS ACROSS THEIR LOT, WITHIN FIVE FEET OF THE COMMON LOT LINE, AS MAY BE NEEDED TO MAINTAIN AND REPAIR THE ADJACENT OWNERS PRINCIPAL STRUCTURE. EACH ADJACENT OWNER AGREES TO REPAIR ANY DAMAGE WHICH MAY BE CAUSED TO THE LOT OWNER'S PROPERTY FROM THE ADJACENT OWNERS USE OF THIS MAINTENANCE EASEMENT, AND TO TAKE ALL NECESSARY STEPS TO AVOID CAUSING SUCH DAMAGE

DRAINAGE MASTER PLAN NOTE

THE POLICY OF THE CITY REQUIRES THAT ALL NEW DEVELOPMENT AND REDEVELOPMENT SHALL PARTICIPATE IN THE REQUIRED DRAINAGE IMPROVEMENTS AS SET FORTH BELOW.

- DESIGN AND CONSTRUCT THE LOCAL DRAINAGE SYSTEM AS DEFINED BY THE PHASE I DRAINAGE REPORT FOR THE STREETS AT SOUTHGLENN.
- DESIGN AND CONSTRUCT THE CONNECTION OF THE SUBDIVISION DRAINAGE SYSTEM TO A DRAINAGEWAY OF ESTABLISHED CONVEYANCE CAPACITY SUCH AS A MASTER PLANNED OUTFALL STORM SEWER OR MASTER PLANNED MAJOR DRAINAGEWAY. THE CITY WILL REQUIRE THAT THE CONNECTION OF THE MINOR AND MAJOR SYSTEMS PROVIDE CAPACITY TO CONVEY ONLY THOSE FLOWS (INCLUDING OFF SITE FLOWS) LEAVING THE SPECIFIC DEVELOPMENT SITE. TO MINIMIZE OVERALL CAPITAL COSTS THE CITY ENCOURAGES ADJACENT DEVELOPMENTS TO JOIN IN DESIGNING AND CONSTRUCTING CONNECTION SYSTEMS. ALSO, THE CITY MAY CHOOSE TO PARTICIPATE WITH A DEVELOPER IN THE DESIGN AND CONSTRUCTION OF THE CONNECTION SYSTEM.
- EQUITABLE PARTICIPATION IN THE DESIGN AND CONSTRUCTION OF THE MAJOR DRAINAGEWAY SYSTEM THAT SERVES THE DEVELOPMENT AS DEFINED BY ADOPTED MASTER DRAINAGEWAY PANS (SECTION 3.3.2 OF ARAPAHOE COUNTY STORM DRAINAGE DESIGN AND TECHNICAL CRITERIA MANUAL) OR AS REQUIRED BY THE CITY AND DESIGNATED IN THE PHASE I DRAINAGE REPORT.

METROPOLITAN DISTRICT OBLIGATIONS AND MAINTENANCE RESPONSIBILITIES

WITHIN THE PROPERTY BOUNDARY OF THE STREETS OF SOUTHGLENN, THE SOUTHGLENN METROPOLITAN DISTRICT SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION, CONSTRUCTION, OPERATION, AND MAINTENANCE OF: PRIVATE ROADWAYS; COMMON AREA LANDSCAPING; PUBLIC PLAZAS; PUBLIC PARK AREAS; PUBLIC PARKING STRUCTURES; OUTDOOR PEDESTRIAN LIGHTING; PARKING LOT LIGHTING; GROUND SIGNAGE; ONSITE STORM SEWER LINES AND APPURTENANCES; UNDERGROUND DETENTION STRUCTURES; WATER QUALITY STRUCTURES; WATERLINES AND APPURTENANCES; AND SANITARY SEWER LINES AND APPURTENANCES.



Farnsworth
GROUP

5613 DTC PARKWAY, SUITE 1100
GREENWOOD VILLAGE, COLORADO 80111
(303) 692-8838 / info@f-w.com

www.f-w.com

Engineers | Architects | Surveyors | Scientists

ISSUE:

DATE: DESCRIPTION:

PROJECT:

Alberta Development Partners, LLC

Southglenn MDP

DATE:

06/16/2021

DESIGNED:

BM

DRAWN:

SM

REVIEWED:

BN

FIELD BOOK NO.:

SHEET TITLE:

DEVELOPMENT
STANDARDS AND
STANDARD NOTES

SHEET NUMBER:

2 OF 16

PROJECT NO.: 0190862.00

MASTER DEVELOPMENT PLAN AMENDMENT NO. 8

5613 DTC PARKWAY, SUITE 1100
GREENWOOD VILLAGE, COLORADO 80111
(303) 692-8838 / info@f-w.com

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Southglenn MDP

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SHEET TITLE: _____

REDEVELOPMENT
BLOCKING PLAN

SHEET NUMBER: _____

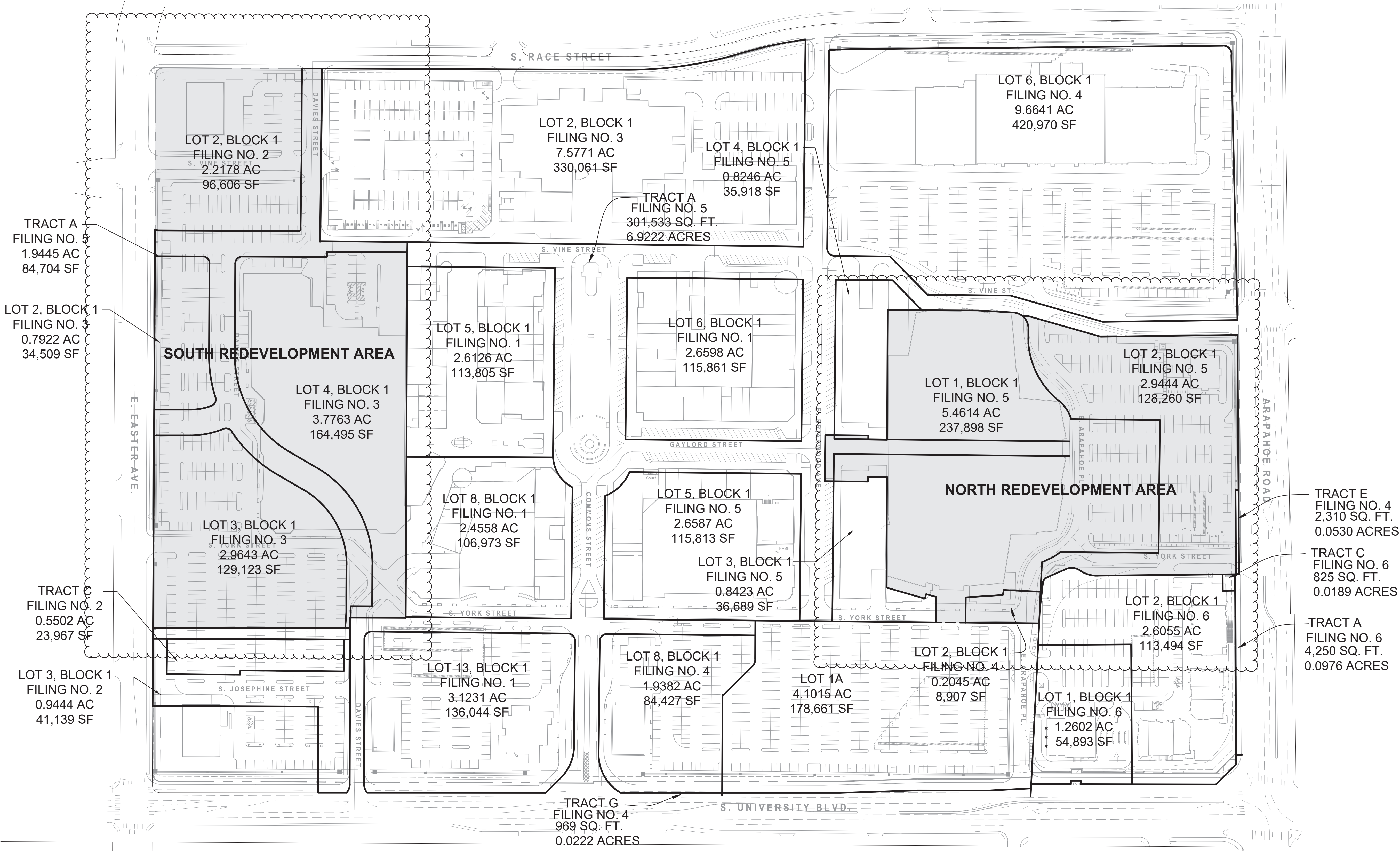
3 OF 16

PROJECT NO.: 0190862.00

STREETS AT SOUTHGLENN

MASTER DEVELOPMENT PLAN AMENDMENT NO. 8

PART OF THE NE 1/4 OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



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Alberta Development Partners, LLC

Southglenn MDP

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FIELD BOOK NO.:	

SHEET TITLE:
**PROPOSED FUTURE
REDEVELOPMENT
BLOCKING PLAN**

SHEET NUMBER:

4 OF 16

PROJECT NO.: 0190862.00

STREETS AT SOUTHGLENN

MASTER DEVELOPMENT PLAN AMENDMENT NO. 8

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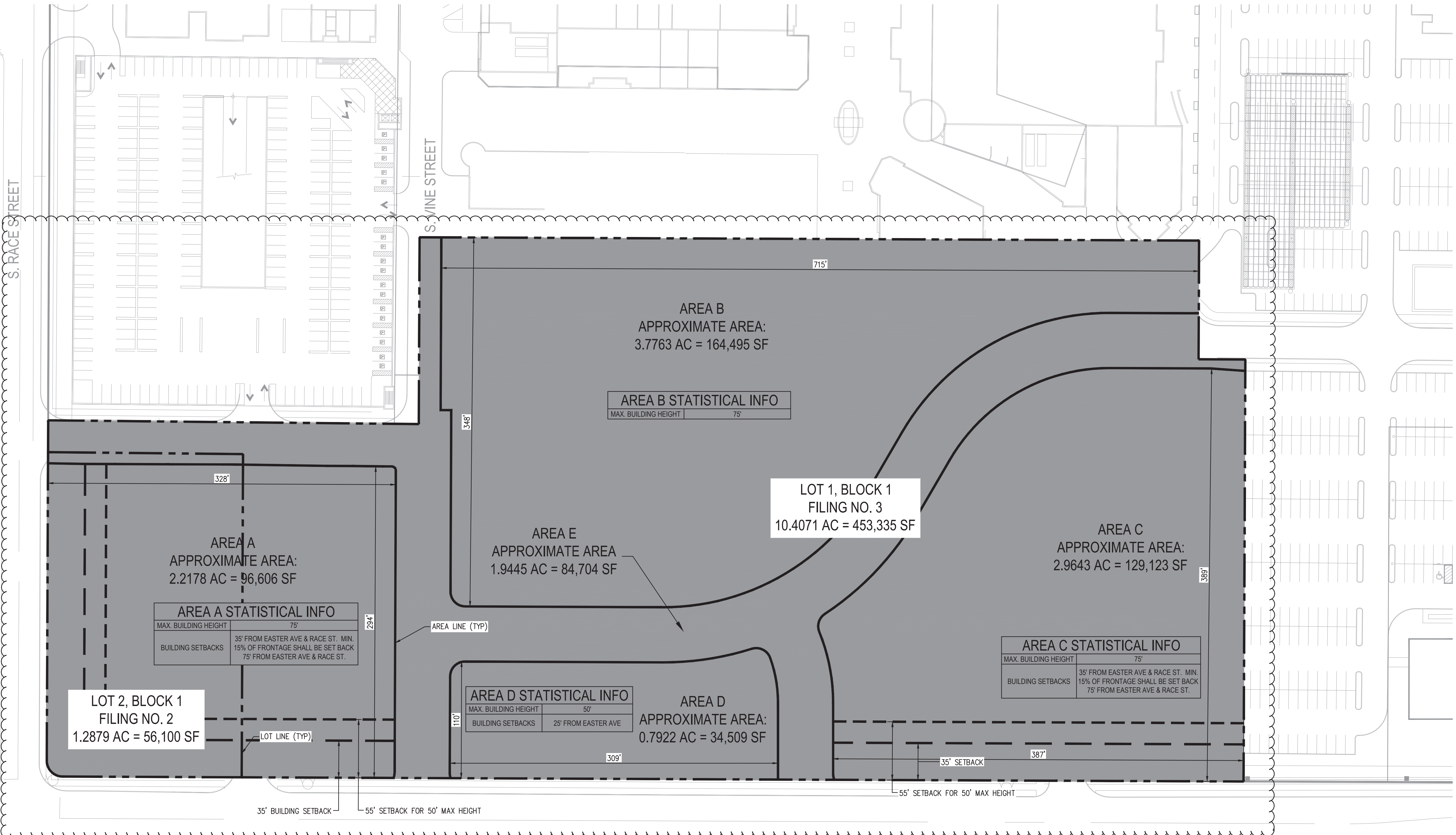
SHEET TITLE:

**SOUTH REDEVELOPMENT
AREA BLOCKING PLAN**

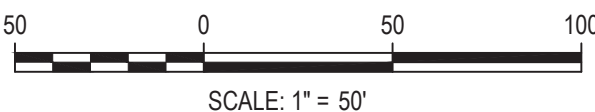
SHEET NUMBER:

5 OF 16

PROJECT NO.: 0190862.00



BLOCKING PLAN EXHIBIT



STREETS AT SOUTHGLENN

MASTER DEVELOPMENT PLAN AMENDMENT NO. 8

PART OF THE NE 1/4 OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 68 WEST
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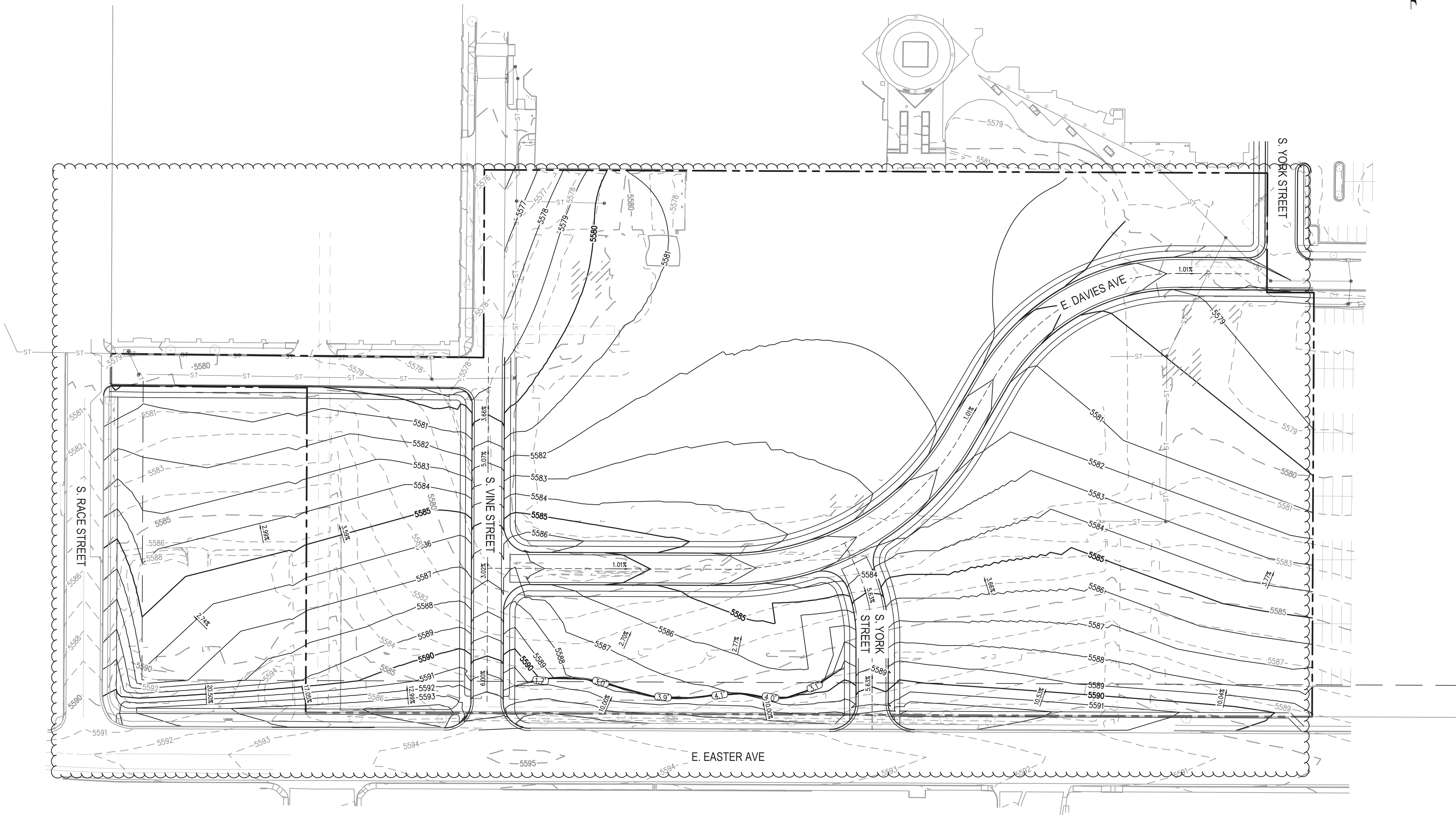
SHEET TITLE:

**SOUTH REDEVELOPMENT
AREA CONCEPTUAL
GRADING PLAN**

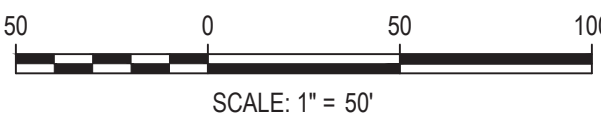
SHEET NUMBER:

6 OF 16

PROJECT NO.: 0190862.00



PRELIMINARY GRADING & DRAINAGE EXHIBIT



SCALE: 1" = 50'

HKS **HARRIS
KOCHER
SMITH**
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

STREETS AT SOUTHGLENN
MASTER DEVELOPMENT PLAN
AMENDMENT NO. 8

PART OF THE NE 1/4 OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO

LANDSCAPING

LANDSCAPE DESIGN PRINCIPLES
THE LANDSCAPE FRAMEWORK FOR THE STREETS AT SOUTHGLENN SUPPORTS THE CONCEPT OF A TRADITIONAL URBAN NEIGHBORHOOD WITH MODERN DETAILS. LANDSCAPE IS APPROACHED AT SEVERAL DIFFERENT LEVELS PRIMARILY CONSISTING OF:
A. STREETScape: PEDESTRIAN FRIENDLY TREE-LINED CONNECTORS, UTILIZING TRADITIONAL TREE LAWNS AND SITE AMENITIES TO DEFINE AN URBAN NEIGHBORHOOD. THIS APPROACH IS REFLECTED IN THE DEVELOPMENT OF INTERNAL AS WELL AS PERIMETER STREETS.
B. GARDEN: THE LANDSCAPE DESIGN APPROACH GENERALLY USES TRADITIONAL LANDSCAPE PROTOTYPES TO INFORM THE DESIGN OF PUBLIC PLACES AT SOUTHGLENN. THE LANDSCAPE MATERIALS USED TO ESTABLISH THESE FORMS ARE UNIQUE TO COLORADO.
C. URBAN PARK: PARKING AREAS AND DRIVE LANES ARE DELINEATED BY THE USE OF ISLANDS AND MEDIANS THAT UTILIZE POSSIBLE COMBINATIONS OF ARCHITECTURAL ELEMENTS, LIGHTING AND SPECIAL PAVING AND/OR LANDSCAPING TO ADD COLOR AND INTEREST SPECIFIC TO THE DESIGN VOCABULARY OF THE PROJECT.
D. PLAZA: PEOPLE PLACES COMPLEMENT AND CONTRAST ADJACENT BUILDING ARCHITECTURE TO CREATE COMFORTABLE PLACES THAT ARE INTERESTING AND MEMORABLE.

GENERAL LANDSCAPE REQUIREMENTS
THE LANDSCAPE FRAMEWORK FOR THE STREETS AT SOUTHGLENN SUGGESTS AN URBAN NETWORK OF INTERCONNECTED STREETS. THERE ARE PRIMARILY TWO TYPES OF STREETSCAPES INDICATED: THOSE LINKING THE PERIMETER AND CORE AREAS - MOSTLY WITHOUT BUILDING EDGES, AND THE INTERNAL STREETS BOUNDED BY BUILDINGS. WHERE APPROPRIATE THE STREETS ARE LINED WITH SIDEWALKS AND STREET TREES FORMING A PEDESTRIAN STREETSCAPE. CAREFUL COORDINATION OF TRAFFIC, PARKING, LIGHTING, EMERGENCY ACCESS AND EGRESS AND UTILITY REQUIREMENTS WILL RESULT IN STREETS THAT ARE ATTRACTIVE AND ACCESSIBLE FOR BOTH PEDESTRIAN AND VEHICULAR USERS.

LANDSCAPE REQUIREMENTS SHALL CONFORM TO THE CITY OF CENTENNIAL'S LAND DEVELOPMENT CODE EXCEPT AS OTHERWISE SPECIFIED. TREES, SHRUBS AND OTHER PLANT MATERIALS SHALL BE SELECTED FROM AN APPROVED LIST. THE CITY'S LIST OF RECOMMENDED PLANT MATERIALS IS REFERENCED, BUT NOT CONSIDERED ALL INCLUSIVE. THE PROJECT MAY USE ANY LANDSCAPE PLANT MATERIAL THAT IS NOT PROHIBITED BY STATE OR LOCAL LAW. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM EQUIPPED WITH A CENTRAL CONTROL MECHANISM. ONLY TURFGRASS, GROUND COVER AND ANNUAL PLANTING AREAS SHOULD BE SPRAY IRRIGATED. ALL OTHER AREAS SHOULD BE PROVIDED WITH DRIP OR SUBSURFACE IRRIGATION. ALL PLANT BED AREAS SHALL RECEIVE MULCH COVERING INCLUDING, BUT NOT LIMITED TO, GRAVEL, COBBLE, WOOD AND BARK MULCH. HARDSCAPES MAY INCLUDE ROCKS, BOULDERS, NATURAL AND CULTURED STONE, CEMENT CONCRETE, UNIT PAVERS, SITE AMENITIES SUCH AS BENCHES TRASH, TRASH RECEPTACLES, BOLLARDS, BIKE RACKS AND OTHER ELEMENTS DEEMED APPROPRIATE.

ALL LANDSCAPE AREAS SHALL BE MAINTAINED IN A HEALTHY AND NEAT CONDITION - INCLUDING WEEKLY MOWING AND TRASH REMOVAL, PERIODIC FERTILIZING AND MULCHING AND ANNUAL PRUNING AND REPLACEMENT OF DEAD MATERIALS.

STREETSCAPES
THERE ARE THREE GENERAL TYPES OF STREETS AT THE STREETS AT SOUTHGLENN. AS EACH HAS A DISTINCT URBAN CHARACTER, EACH SHOULD HAVE A DISTINCT LANDSCAPE CHARACTER.

URBAN STREETS ARE STREETS THAT ARE CHARACTERIZED BY BUILDINGS ON BOTH SIDES PROVIDING SPATIAL CONTAINMENT. THE STREETSCAPES ARE PRIMARILY DEFINED BY THE ARCHITECTURAL CHARACTER OF THE ADJACENT BUILDINGS. LANDSCAPING ON THESE STREETS REINFORCES THE ARCHITECTURAL CHARACTER AND PROVIDES SEPARATION OF THE PEDESTRIAN FROM VEHICULAR TRAFFIC AS WELL AS SHADE, VISUAL INTEREST AND DEFINITION FOR AREAS OF ACTIVITY AND USE. URBAN STREETS SIDEWALKS SHALL HAVE EVENLY SPACED STREET TREES AT THE BACK OF THE CURB IN TREE GRATES OR PLANT PITS. ORNAMENTAL TREES, SHRUBS, GROUNDCOVERS, PERENNIALS AND ANNUALS PLANTING SHOULD BE IN POTS, PLANTERS OR CONTAINED PLANTING AREAS.

PERIMETER STREETS ARE CHARACTERIZED BY BUILDINGS ON ONE SIDE ONLY AND WITH CIRCULATION AND/OR LANDSCAPE BUFFERS ON THE OPPOSITE SIDE. LANDSCAPING OF THESE AREAS VARIES WITH PROXIMITY TO ADJACENT USE. PROVIDE LANDSCAPING IN PERIMETER STREETS SUBJECT TO THE REQUIREMENTS OF PARKING AREA AND BUILDING AREA LANDSCAPING AS DEFINED BELOW.

APPROACH STREETS ARE NOT DEFINED ON EITHER SIDE BY A BUILDING. THEY ARE DEFINED IN MOST CASES BY LANDSCAPED AREAS, ISLANDS OR MEDIANS. PROVIDE LANDSCAPING IN APPROACH STREETS SUBJECT TO THE REQUIREMENTS OF PARKING AREA LANDSCAPING AS DEFINED BELOW.

PERIMETER AREA LANDSCAPING
LANDSCAPING SHOULD HELP PROVIDE COMPATIBILITY WITH ADJACENT LAND USES BY PROVIDING AN EDGE CONDITION THAT RESPECTS THOSE USES. COMPATIBLE USES SHOULD BE OPEN AND VISIBLE. INCOMPATIBLE USES SHOULD BE SCREENED. LANDSCAPING SHOULD PROVIDE VISUAL CUES TO THE LOCATION OF SITE ENTRIES AND PEDESTRIAN CONNECTIONS.
A. PERIMETER LANDSCAPE BUFFERS, WHERE REQUIRED, SHALL BE A MINIMUM OF FIVE (5) FEET WIDE.
B. PROVIDE SOD TREE LAWNS BETWEEN CURB AND SIDEWALK WHERE POSSIBLE. AVOID TREE LAWNS THAT ARE LESS THAN SIX (6) FEET IN WIDTH. SAVE EXISTING TREES WHERE PRACTICAL. EXISTING TREES SHALL NOT BE REQUIRED TO BE SAVED OR MAINTAINED ON THE PROPERTY GIVEN THE REQUIREMENTS OF THE PROPOSED PLAN.
C. PROVIDE STREET TREES FROM APPROVED LIST AT A MINIMUM OF 40 FT ON CENTER.
D. WHERE PARKING IS ADJACENT TO PUBLIC STREET RIGHT OF WAY PROVIDE A CONTINUOUS SHRUB HEDGE OR LOW DECORATIVE SCREEN WALL AVERAGING 30 INCHES IN HEIGHT.
E. WHERE SERVICE AND LOADING OPERATIONS ARE ADJACENT TO A PUBLIC RIGHT OF WAY PROVIDE A MINIMUM EIGHT (8) FEET HIGH DECORATIVE SCREEN WALL SET BACK A MINIMUM OF 5 FEET FROM THE RIGHT OF WAY WITH HEDGE OR EVERGREEN SHRUB LANDSCAPE SCREEN PLANTED AT A MAXIMUM OF 10 FEET ON CENTER.

PARKING AREA LANDSCAPING
LANDSCAPING IS AN IMPORTANT ENHANCEMENT FOR THE LARGE PARKING AREAS REQUIRED AT A MIXED USE DEVELOPMENT. LANDSCAPED MEDIANS AND ISLANDS PROVIDE A MEANS OF ORGANIZING PARKING MODULES, ASSISTING WITH VEHICULAR AND PEDESTRIAN MOVEMENT, PROVIDING VISUAL SCREENING WHERE APPROPRIATE, ADDING ENVIRONMENTAL PROTECTIONS SUCH AS SHADE AND WINDBREAK AND REDUCING THE SIZE OF CONTIGUOUS IMPERVIOUS SURFACES.
A. PARKING LOT LANDSCAPING SHALL BE PROVIDED AT THE PERIMETER OF THE PARKING AREAS. INTERNAL LANDSCAPED ISLANDS SHALL NOT BE REQUIRED.
B. PROVIDE LANDSCAPE AREAS IN PARKING LOTS THAT ARE EQUIVALENT TO FIVE (5) SQUARE FEET PER PARKING STALL. ISLANDS SHALL NOT BE LESS THAN 200 SQ FT. IN SIZE FOR A DOUBLE LOADED ROW OF PARKING.
C. PROVIDE AT LEAST ONE TREE AND FIVE (5) SHRUBS IN EACH LANDSCAPED ISLAND EXCEPT WHERE RESTRICTED BY UTILITY EASEMENTS. AVOID PLACING UTILITY EASEMENTS IN LANDSCAPED ISLANDS.
D. WHERE LINE OF SIGHT IS REQUIRED, SHRUBS SHALL BE A MAXIMUM OF 36" MATURE HEIGHT.
E. LANDSCAPING OF ISLANDS MAY INCLUDE DECORATIVE PAVERS, LIGHTING AND SITE AMENITIES SUCH AS RAISED PLANTERS OR BOLLARDS.
BUILDING AREA LANDSCAPING
WHERE LANDSCAPING IS PROVIDED ADJACENT TO BUILDINGS IT SHALL ACCENT BUILDING ENTRANCES AND COMPLEMENT BUILDING ARCHITECTURE. LANDSCAPING MAY INCLUDE DECORATIVE PAVEMENTS, PLANTERS AND SITE FURNISHINGS AS APPROPRIATE.
A. IRRIGATED PLANT MATERIAL SHALL NOT BE PLACED WITHIN FIVE (5) FT OF BUILDING FOUNDATIONS.
B. SODDED AREAS ARE DISCOURAGED WHERE THEY ARE LESS THAN SIX FT IN WIDTH AND/OR LESS THAN 200 SQ FT IN TOTAL SIZE.
C. PLANTING AREAS LARGER THAN 200 SQ FT IN SIZE SHOULD BE LOCATED IN AREAS THAT DO NOT ATTRACT PEDESTRIAN TRAFFIC OR SHOULD BE BERMED TO DISCOURAGE CROSS-CUTTING.
D. PROVIDE ONE TREE AND 6 SHRUBS MINIMUM PER EACH 1000 SQ FEET OF SHRUB BED AREA.

RESIDENTIAL LANDSCAPE
RESIDENTIAL AREAS SHALL MEET THE REQUIREMENTS OF THE MDP FOR URBAN STREETS.

COMMERCIAL LANDSCAPE
MOST OF THE COMMERCIAL PROPERTIES AT THE STREETS AT SOUTHGLENN ARE LOCATED ON URBAN STREETS OR PLAZAS. OTHERS ARE LOCATED ON PERIMETER OR APPROACH STREETS.

COMMERCIAL AREAS SHALL MEET THE REQUIREMENTS OF THE MDP FOR THE TYPE OF STREET (AS DEFINED ABOVE) THAT THEY ARE ADJACENT TO.

SURFACE PARKING LOTS
PARKING LOTS SHOULD BE DESIGNED TO BE SAFE, EFFICIENT, CONVENIENT AND ATTRACTIVE. THEY SHALL TAKE INTO CONSIDERATION ALL TYPES OF TRANSPORTATION MODES WHICH THEY WILL ACCOMMODATE, SUCH AS AUTOMOBILES, TRUCKS, EMERGENCY VEHICLES, BICYCLES, AND PEDESTRIANS.

LANDSCAPED ISLANDS ARE REQUIRED IN PARKING AREAS AS IDENTIFIED HEREIN. ISLANDS WHICH ARE SURFACED WITH DECORATIVE PAVING AND WHICH INCLUDE TREES, BOLLARDS OR OTHER URBAN ELEMENTS MAY BE CONSIDERED LANDSCAPED.

LANDSCAPE PLANT MATERIAL
REFER TO SHEET 9 OF 35 FOR THE GENERAL PALLETTE OF PLANT MATERIAL.

RUSSIAN OLIVE OR COTTONWOOD TREES SHALL NOT BE ALLOWED TO BE PLANTED WITHIN THE PROJECT.

LANDSCAPE GUIDELINES APPLY TO NORTH AND SOUTH REDEVELOPMENT AREAS AS THEY HAVE BEEN APPLIED TO THE REMAINDER OF THE SITE CONSISTENT WITH THE MDP



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GROUP

5613 DTC PARKWAY, SUITE 1100
GREENWOOD VILLAGE, COLORADO 80111
(303) 692-8838 / info@f-w.com

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PROJECT:
Alberta Development Partners, LLC

Southglenn MDP

DATE: 06/16/2021

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LANDSCAPE GUIDELINES

SHEET NUMBER:

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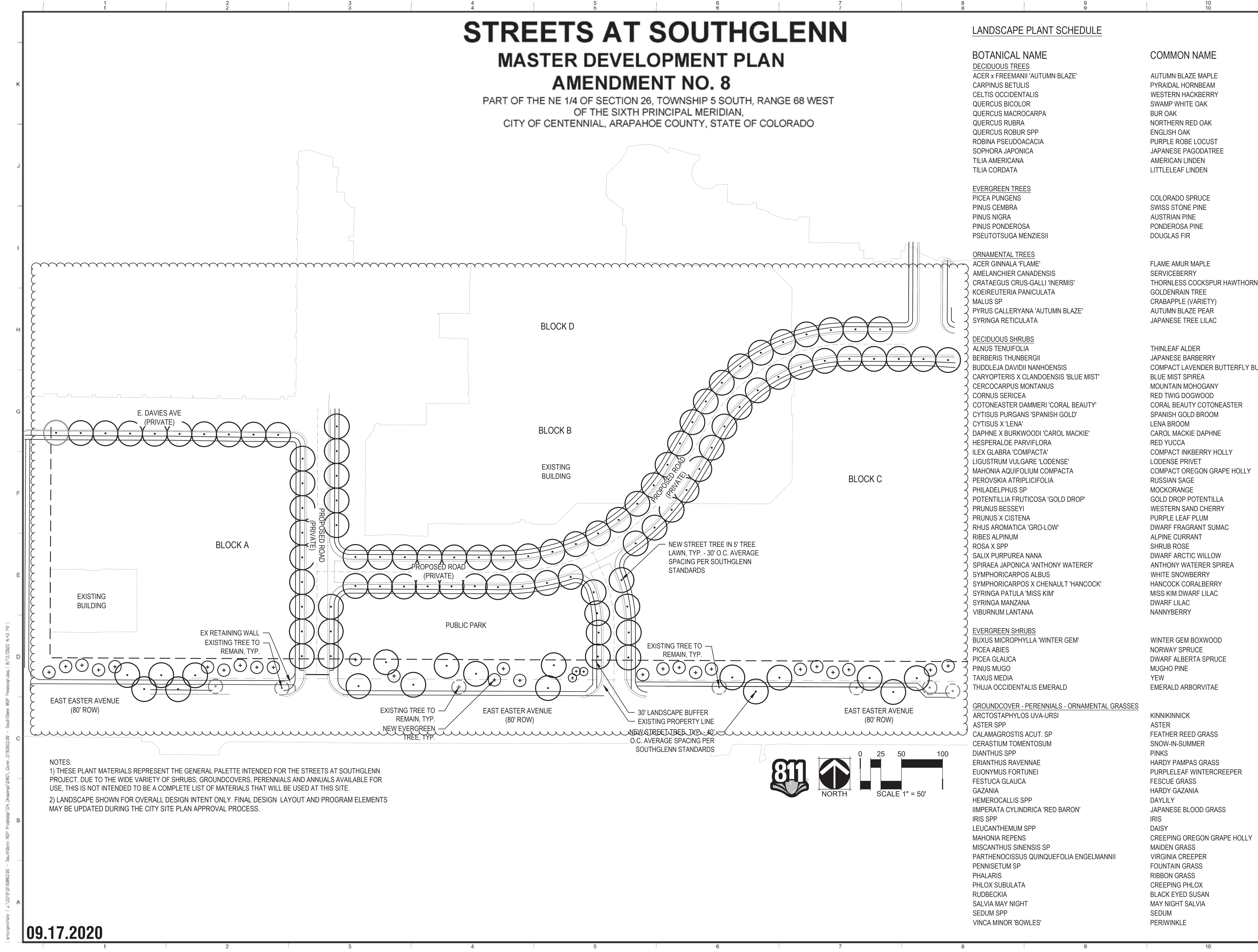
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STREETS AT SOUTHGLENN

MASTER DEVELOPMENT PLAN

AMENDMENT NO. 8

PART OF THE NE 1/4 OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 68 WEST
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CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



LANDSCAPE PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME
DECIDUOUS TREES	
ACER x FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE
CARPINUS BETULIS	PYRAIDAL HORNBEAM
CELTIS OCCIDENTALIS	WESTERN HACKBERRY
QUERCUS BICOLOR	SWAMP WHITE OAK
QUERCUS MACROCARPA	BUR OAK
QUERCUS RUBRA	NORTHERN RED OAK
QUERCUS ROBUR SPP	ENGLISH OAK
ROBINA PSEUDOACACIA	PURPLE ROBE LOCUST
SOPHORA JAPONICA	JAPANESE PAGODATREE
TILIA AMERICANA	AMERICAN LINDEN
TILIA CORDATA	LITTLELEAF LINDEN
EVERGREEN TREES	
PICEA PUNGENS	COLORADO SPRUCE
PINUS CEMBRA	SWISS STONE PINE
PINUS NIGRA	AUSTRIAN PINE
PINUS PONDEROSA	PONDEROSA PINE
PSEUTOTSUGA MENZIESII	DOUGLAS FIR
ORNAMENTAL TREES	
ACER GINNALA 'FLAME'	FLAME AMUR MAPLE
AMELANCHIER CANADENSIS	SERVICEBERRY
CRATAEGUS CRUS-GALLI 'INERMIS'	THORNLESS COCKSPUR HAWTHORN
KOEIREUTERIA PANICULATA	GOLDENRAIN TREE
MALUS SP	CRABAPPLE (VARIETY)
PYRUS CALLERYANA 'AUTUMN BLAZE'	AUTUMN BLAZE PEAR
SYRINGA RETICULATA	JAPANESE TREE LILAC
DECIDUOUS SHRUBS	
ALNUS TENUIFOLIA	THINLEAF ALDER
BERBERIS THUNBERGII	JAPANESE BARBERRY
BUDDLEJA DAVIDII NANHOENSIS	COMPACT LAVENDER BUTTERFLY BUSH
CARYOPTERIS X CLANDOENSIS 'BLUE MIST'	BLUE MIST SPIREA
CERCOCARPUS MONTANUS	MOUNTAIN MOHOGANY
CORNUS SERICEA	RED TWIG DOGWOOD
COTONEASTER DAMMERI 'CORAL BEAUTY'	CORAL BEAUTY COTONEASTER
CYTISUS PURGANS 'SPANISH GOLD'	SPANISH GOLD BROOM
CYTISUS X 'LENA'	LENA BROOM
DAPHNE X BURKWOODI 'CAROL MACKIE'	CAROL MACKIE DAPHNE
HESPERALOE PARVIFLORA	RED YUCCA
ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY HOLLY
LIGUSTRUM VULGARE 'LODENSE'	LODENSE PRIVET
MAHONIA AQUIFOLIUM COMPACTA	COMPACT OREGON GRAPE HOLLY
PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE
PHILADELPHUS SP	MOCKORANGE
POTENTILLIA FRUTICOSA 'GOLD DROP'	GOLD DROP POTENTILLA
PRUNUS BESSEYI	WESTERN SAND CHERRY
PRUNUS X CISTENA	PURPLE LEAF PLUM
RHUS AROMATICA 'GRO-LOW'	DWARF FRAGRANT SUMAC
RIBES ALPINUM	ALPINE CURRANT
ROSA X SPP	SHRUB ROSE
SALIX PURPUREA NANA	DWARF ARCTIC WILLOW
SPIRAEA JAPONICA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA
SYMPHORICARPOS ALBUS	WHITE SNOWBERRY
SYMPHORICARPOS X CHENAUT 'HANCOCK'	HANCOCK CORALBERRY
SYRINGA PATULA 'MISS KIM'	MISS KIM DWARF LILAC
SYRINGA MANZANA	DWARF LILAC
VIBURNUM LANTANA	NANNYBERRY
EVERGREEN SHRUBS	
BUXUS MICROPHYLLA 'WINTER GEM'	WINTER GEM BOXWOOD
PICEA ABIES	NORWAY SPRUCE
PICEA GLAUCA	DWARF ALBERTA SPRUCE
PINUS MUGO	MUGHO PINE
TAXUS MEDIA	YEW
THUJA OCCIDENTALIS EMERALD	EMERALD ARBORVITAE
GROUNDCOVER - PERENNIALS - ORNAMENTAL GRASSES	
ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK
ASTER SPP	ASTER
CALAMAGROSTIS ACUT. SP	FEATHER REED GRASS
CERASTIUM TOMENTOSUM	SNOW-IN-SUMMER
DIANTHUS SPP	PINKS
ERIANTHUS RAVENNAE	HARDY PAMPAS GRASS
EUONYMUS FORTUNEI	PURPLELEAF WINTERCREEPER
FESTUCA GLAUCA	FESCUE GRASS
GAZANIA	HARDY GAZANIA
HEMEROCALLIS SPP	DAYLILY
IMPERATA CYLINDRICA 'RED BARON'	JAPANESE BLOOD GRASS
IRIS SPP	IRIS
LEUCANTHEMUM SPP	DAISY
MAHONIA REPENS	CREEPING OREGON GRAPE HOLLY
MISCANTHUS SINENSIS SP	MAIDEN GRASS
PARTHENOCISSUS QUINQUEFOLIA ENGELMANNII	VIRGINIA CREEPER
PENNISSETUM SP	FOUNTAIN GRASS
PHALARIS	RIBBON GRASS
PHLOX SUBULATA	CREEPING PHLOX
RUDBECKIA	BLACK EYED SUSAN
SALVIA MAY NIGHT	MAY NIGHT SALVIA
SEDUM SPP	SEDUM
VINCA MINOR 'BOWLES'	PERIWINKLE

NOTES:
1) THESE PLANT MATERIALS REPRESENT THE GENERAL PALETTE INTENDED FOR THE STREETS AT SOUTHGLENN PROJECT. DUE TO THE WIDE VARIETY OF SHRUBS, GROUNDCOVERS, PERENNIALS AND ANNUALS AVAILABLE FOR USE, THIS IS NOT INTENDED TO BE A COMPLETE LIST OF MATERIALS THAT WILL BE USED AT THIS SITE.
2) LANDSCAPE SHOWN FOR OVERALL DESIGN INTENT ONLY. FINAL DESIGN LAYOUT AND PROGRAM ELEMENTS MAY BE UPDATED DURING THE CITY SITE PLAN APPROVAL PROCESS.



09.17.2020



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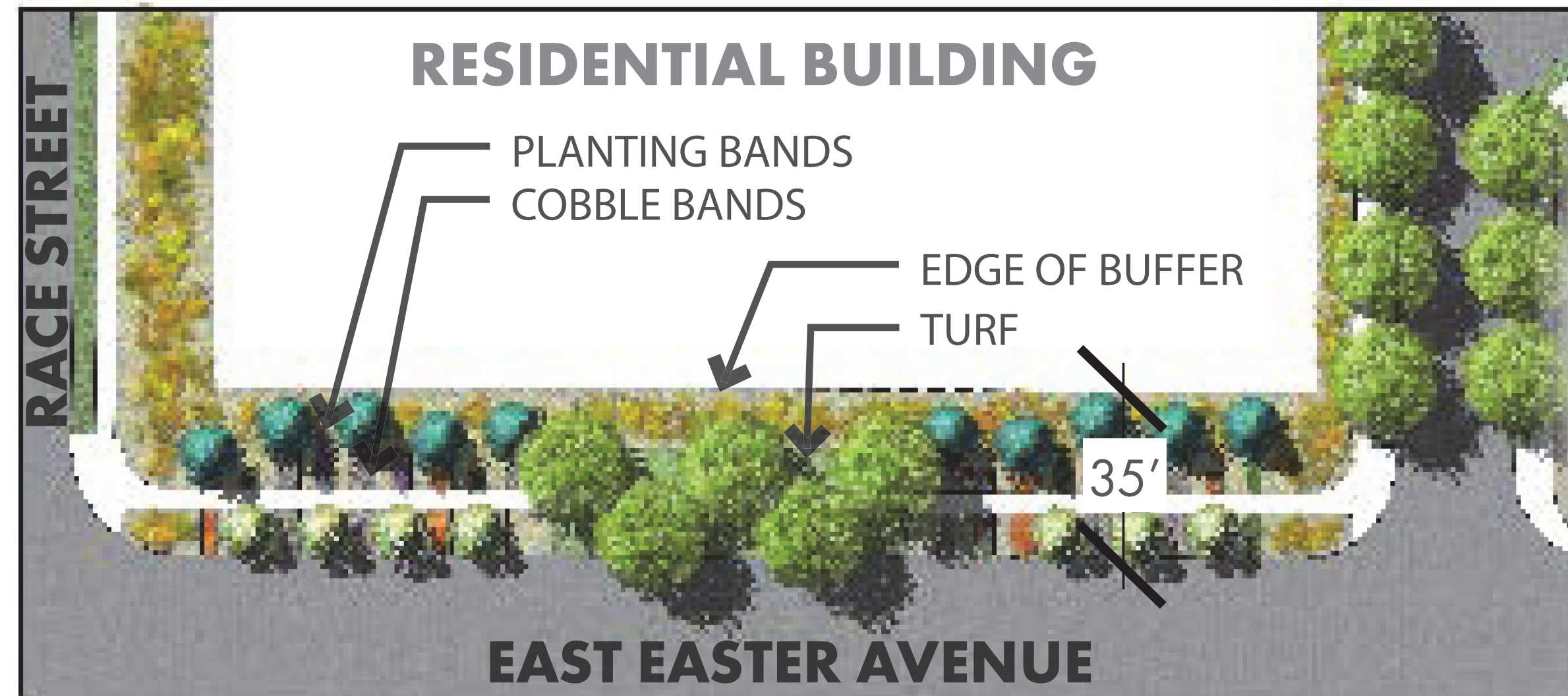
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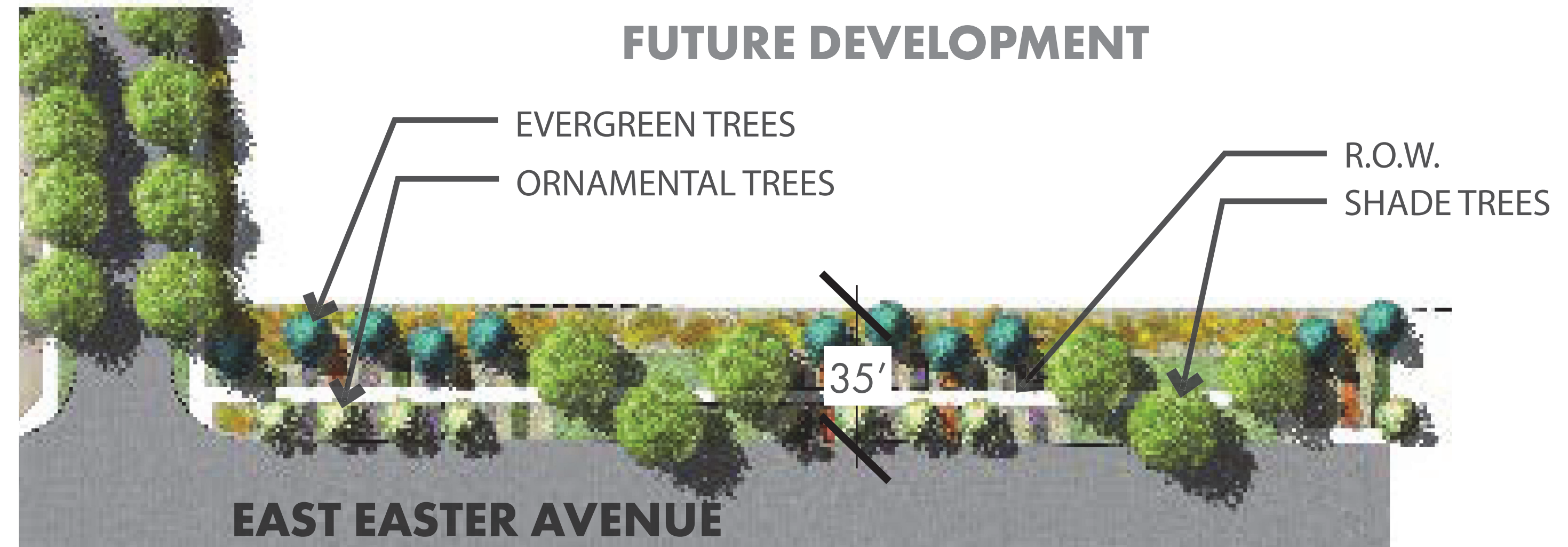
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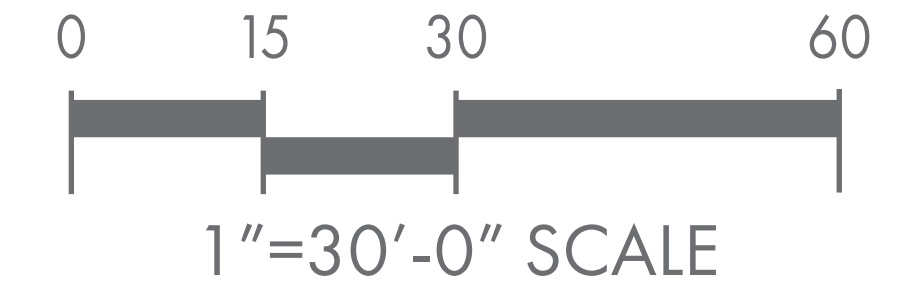
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EAST STREETSCAPE



WEST STREETSCAPE



EASTER AVENUE TYPICAL SECTION

PROPOSAL FOR

STREETS OF SOUTHGLENN APTS

09.17.2020

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NORRIS DESIGN
Planning | Landscape Architecture | Branding

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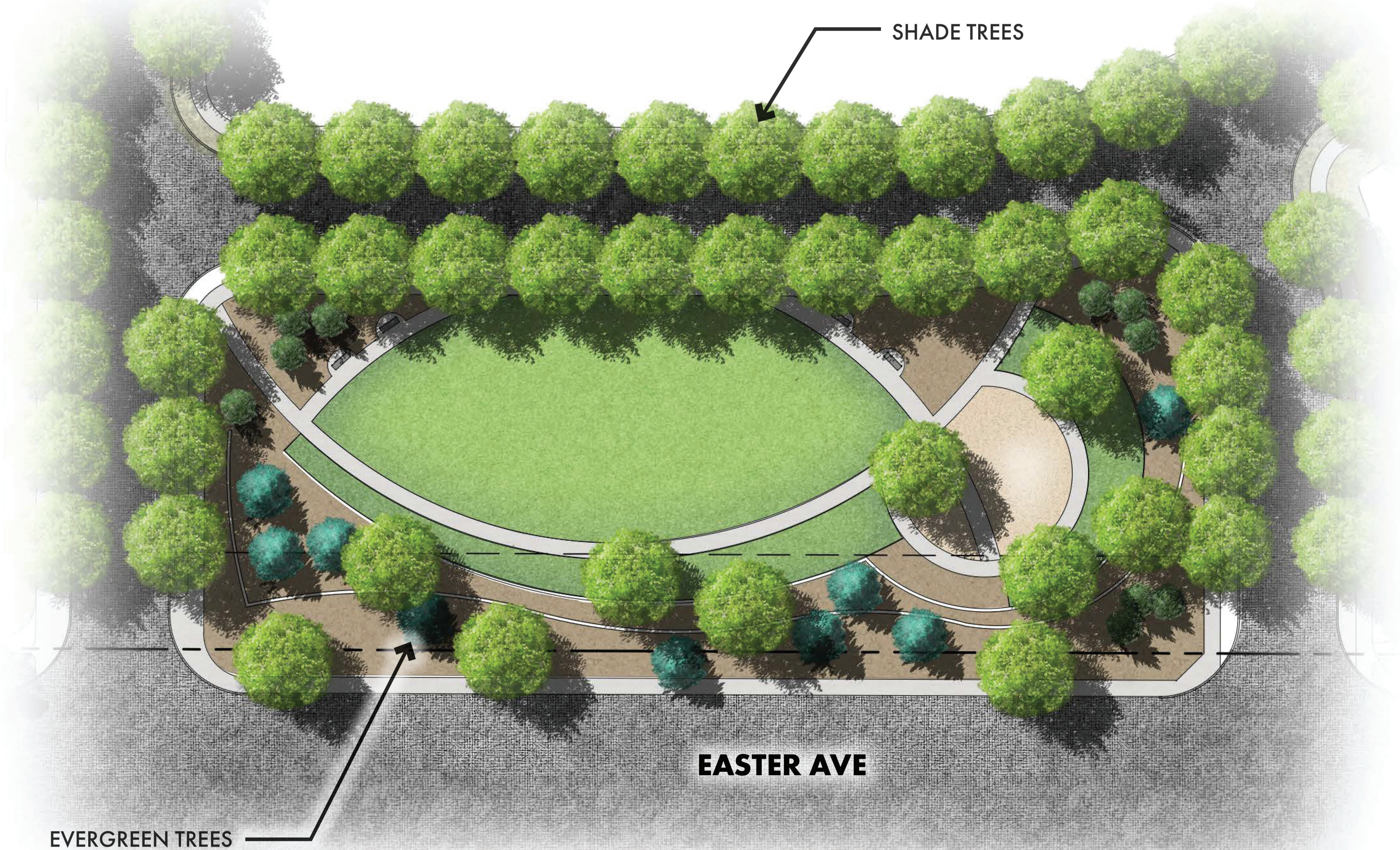
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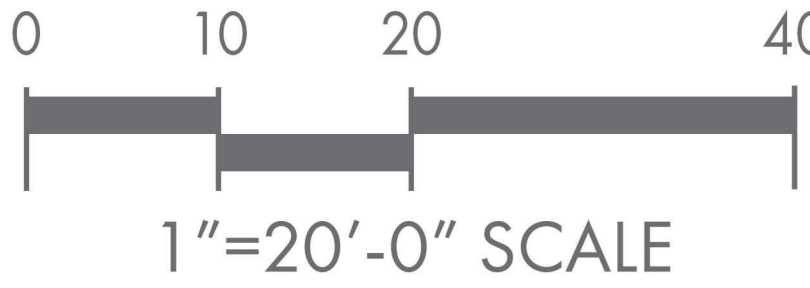
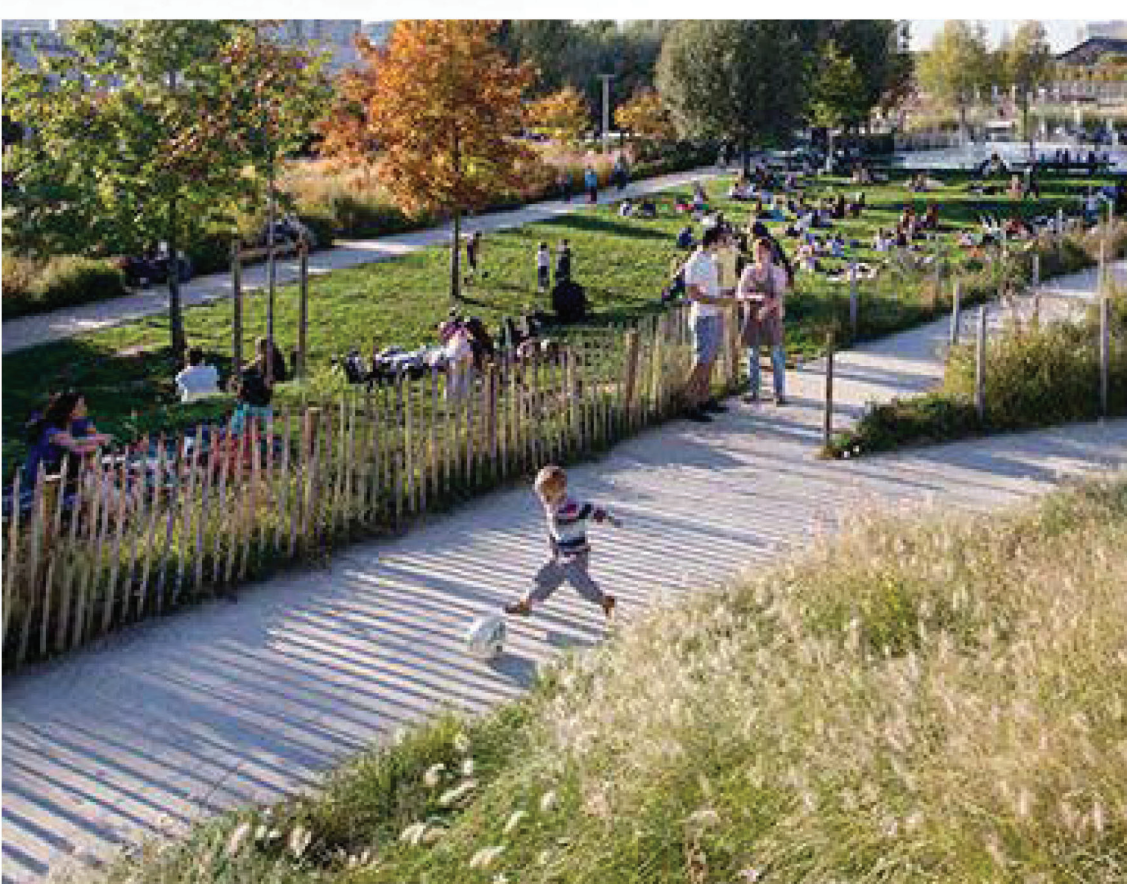
PROJECT NO.: 0190862.00

STREETS AT SOUTHGLENN
MASTER DEVELOPMENT PLAN
AMENDMENT NO. 8

PART OF THE NE 1/4 OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



NOTES:
1) LANDSCAPE SHOWN FOR OVERALL DESIGN INTENT ONLY. FINAL DESIGN LAYOUT AND PROGRAM ELEMENTS
MAY BE UPDATED DURING THE CITY SITE PLAN APPROVAL PROCESS.



09.17.2020

STREETSCAPE CHARACTER

NATURALIZED BIOSWALE CHARACTER

NATURE PLAY CHARACTER

LANDSCAPE CHARACTER

LANDSCAPE CHARACTER



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NORRIS DESIGN
Planning | Landscape Architecture | Branding

PROJECT:
Alberta Development Partners, LLC

Southglenn MDP

DATE: 06/16/2021

DESIGNED: BM

DRAWN: SM

REVIEWED: BN

FIELD BOOK NO.:

SHEET TITLE:

SOUTH REDEVELOPMENT
AREA CONCEPTUAL
LANDSCAPE PLAN

SHEET NUMBER:

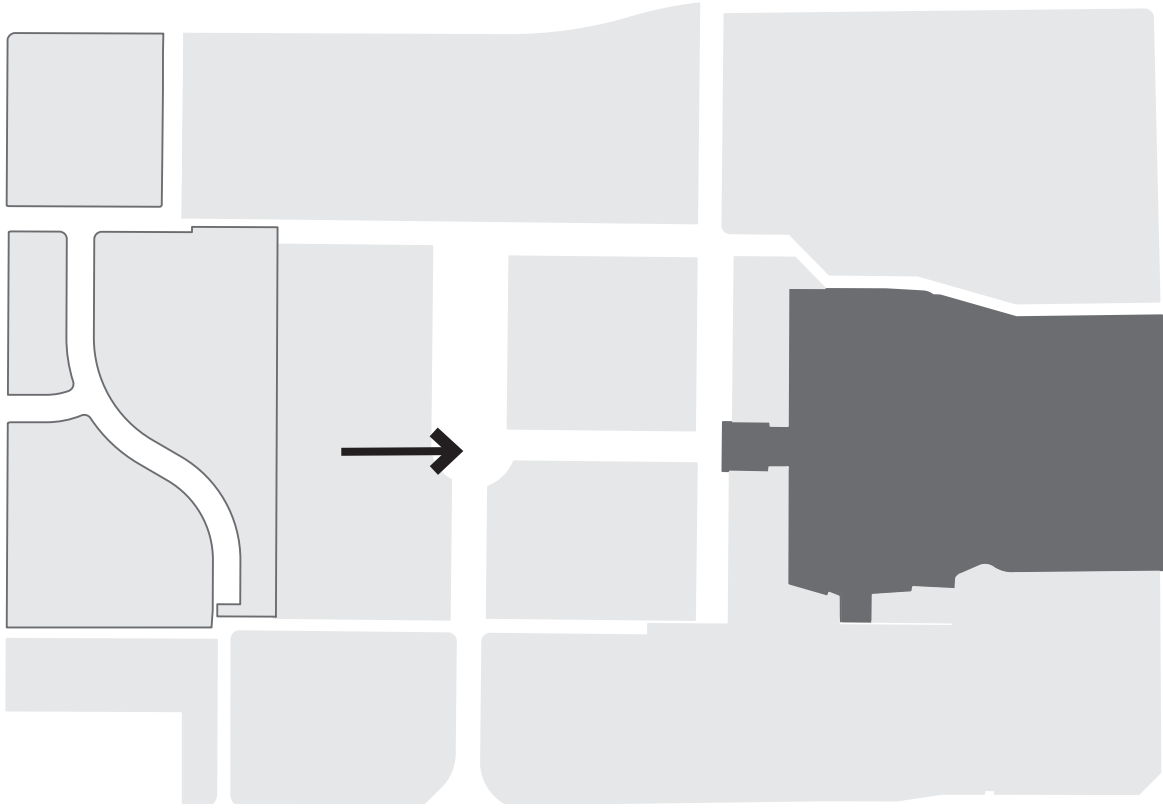
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NOTE: RENDERINGS AND IMAGES TO COMMUNICATE THE GENERAL OVERALL DESIGN CHARACTER FOR THE PROJECT, AND ARE SUBJECT TO REVISIONS BASED UPON CONSTRUCTION, BUDGET, AND TENANT INFLUENCES.

GAYLORD ST VIEW FROM COMMONS PARK LOOKING NORTH

PROJECT:
Alberta Development Partners, LLC

Southglenn MDP

DATE: 06/16/2021

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FIELD BOOK NO.:

SHEET TITLE:
DESIGN VISION

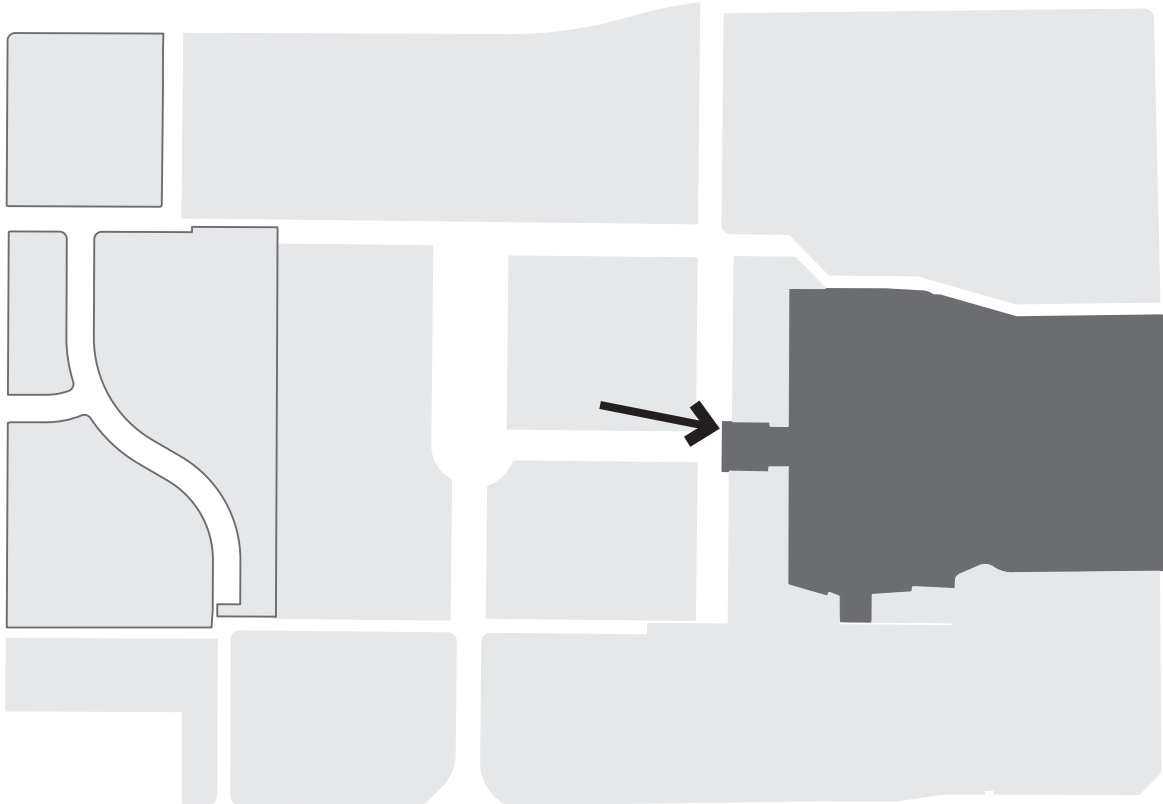
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PROJECT NO.: 0190862.00



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NORTH PARCEL RETAIL OPTION AT GAYLORD STREET EXTENSION

STREETS AT SOUTHGLENN

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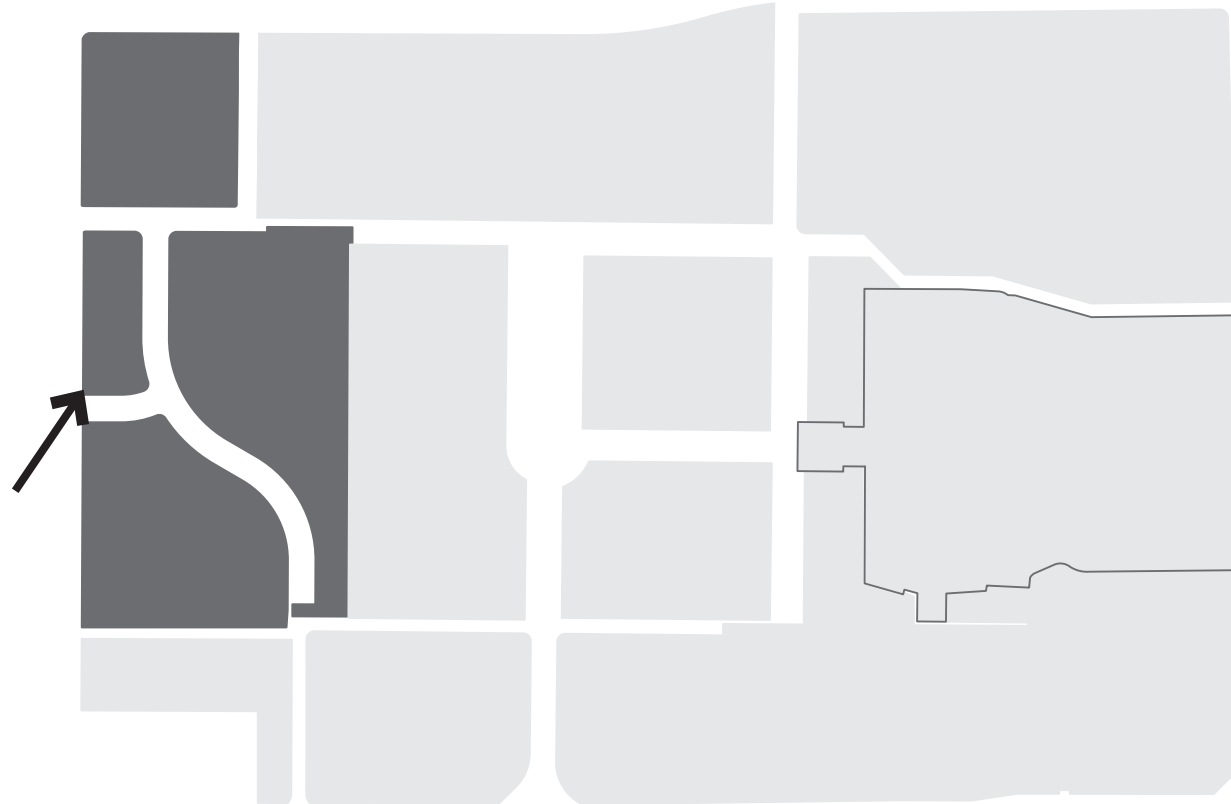
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VIEW FROM THE CORNER OF RACE ST AND EASTER AVE

STREETS AT SOUTHGLENN

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NOTE: RENDERINGS AND IMAGES TO COMMUNICATE THE GENERAL OVERALL DESIGN CHARACTER FOR THE PROJECT, AND ARE SUBJET TO REVISIONS BASED UPON CONSTRUCTION, BUDGET, AND TENANT INFLUENCES

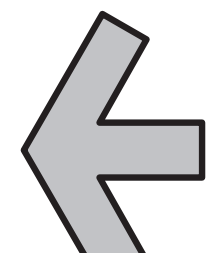
VIEW OVER PARK FROM EASTER AVE

STREETS AT SOUTHGLENN

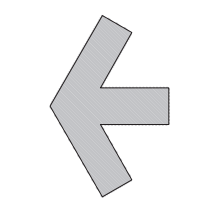
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LEGEND



PRIMARY EXISTING SITE
ACCESS TO REMAIN



SECONDARY EXISTING
SITE ACCESS TO REMAIN



PROPOSED SITE ACCESS



PROPOSED ENTRY TO
LOWER LEVEL PARKING



PROPOSED PEDESTRIAN
CONNECTION



EXISTING PEDESTRIAN
CONNECTION TO ADJACENT
NEIGHBORHOOD



PROPOSED RETAIL
ENTRANCES



ENTRANCE OF EXISTING
RETAIL ANCHOR



PROPOSED ENTRANCE OF
NEW ANCHOR



RESIDENTIAL ENTRY



SERVICE AREA



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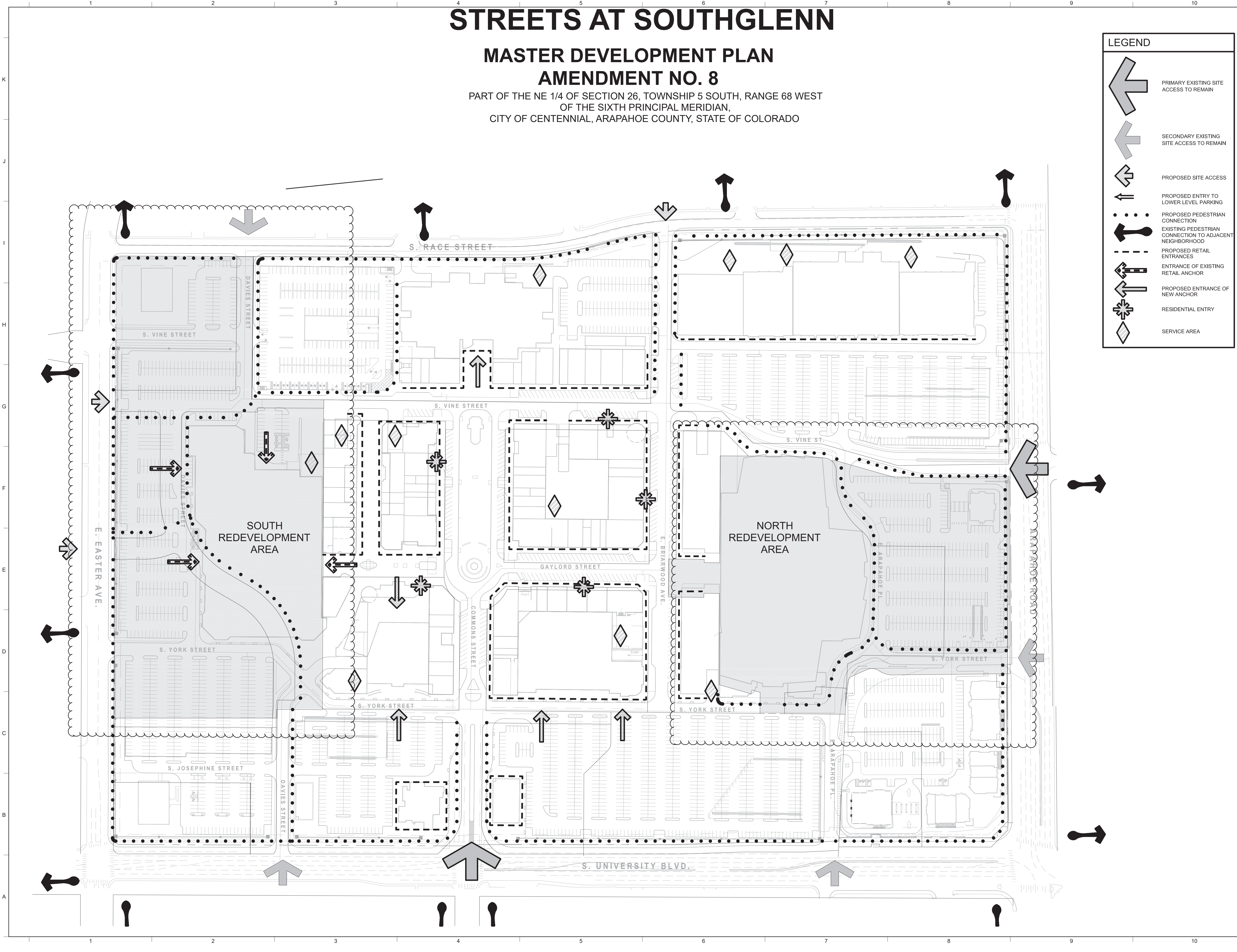
SHEET TITLE:

CONNECTIVITY PLAN

SHEET NUMBER:

15 OF 16

PROJECT NO.: 0190862.00



STREETS AT SOUTHGLENN

MASTER DEVELOPMENT PLAN AMENDMENT NO. 8

PART OF THE NE 1/4 OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN,
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LEGEND

PRIMARY EXISTING SITE ACCESS TO REMAIN

SECONDARY EXISTING SITE ACCESS TO REMAIN

PROPOSED SITE ACCESS

PROPOSED ENTRY TO LOWER LEVEL PARKING

PROPOSED PEDESTRIAN CONNECTION

EXISTING PEDESTRIAN CONNECTION TO ADJACENT NEIGHBORHOOD

PROPOSED RETAIL ENTRANCES

ENTRANCE OF EXISTING RETAIL ANCHOR

PROPOSED ENTRANCE OF NEW ANCHOR

RESIDENTIAL ENTRY

SERVICE AREA



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SHEET TITLE:
PROPOSED FUTURE REDEVELOPMENT AREA CONNECTIVITY PLAN

SHEET NUMBER:

16 OF 16

PROJECT NO.: 0190862.00

