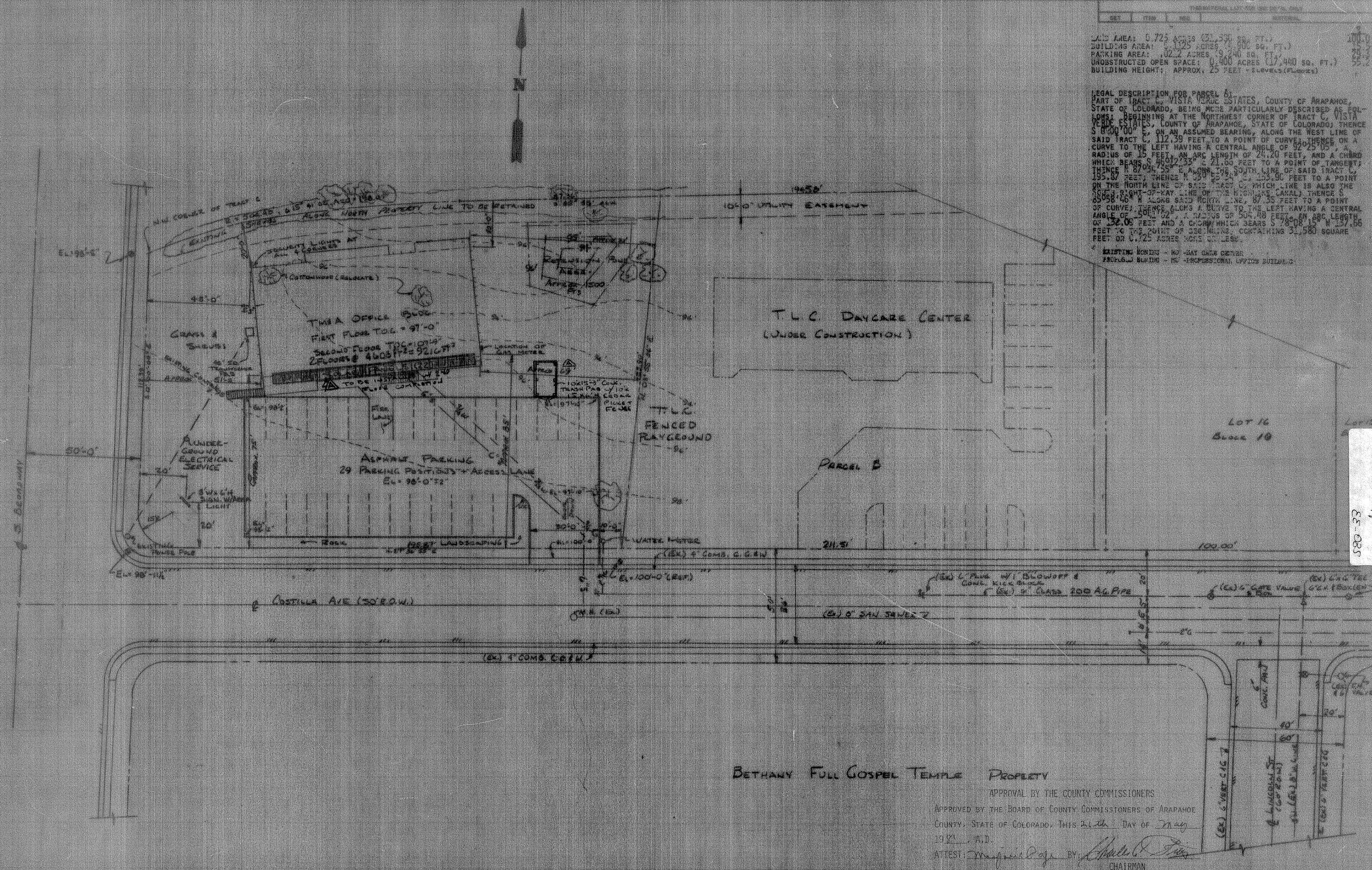


LOTS AREA: 0.725 ACRES (31,370 SQ. FT.)  
 BUILDING AREA: 5,325 ACRES (2,300 SQ. FT.)  
 PARKING AREA: 102.2 ACRES (4,440 SQ. FT.)  
 UNOBSTRUCTED OPEN SPACE: 0.400 ACRES (17,440 SQ. FT.)  
 BUILDING HEIGHT: APPROX. 25 FEET (LEVELS/FLAVES)

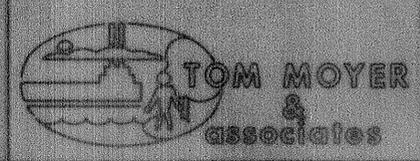
LEGAL DESCRIPTION FOR PARCEL B:  
 PART OF TRACT C, VISTA VERDE ESTATES, COUNTY OF ARAPAHOE,  
 STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOL-  
 LOWS: BEGINNING AT THE NORTHWEST CORNER OF TRACT C, VISTA  
 VERDE ESTATES, COUNTY OF ARAPAHOE, STATE OF COLORADO; THENCE  
 S 0°00'00" E, ON AN ASSUMED BEARING, ALONG THE WEST LINE OF  
 SAID TRACT C, 112.39 FEET TO A POINT OF CURVE; THENCE ON A  
 CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 92°25'05", A  
 RADIUS OF 15 FEET, AN ARC LENGTH OF 24.20 FEET, AND A CHORD  
 WHICH BEARS S 46°12'33" E 21.50 FEET TO A POINT OF TANGENT;  
 THENCE N 87°03'55" E ALONG THE SOUTH LINE OF SAID TRACT C,  
 195.07 FEET; THENCE N 0°00'00" E, 135.90 FEET TO A POINT  
 ON THE NORTH LINE OF SAID TRACT C, WHICH LINE IS ALSO THE  
 SOUTH RIGHT-OF-WAY LINE OF THE HIGHLINE CANAL; THENCE S  
 85°58'46" W ALONG SAID NORTH LINE, 87.35 FEET TO A POINT  
 OF CURVE; THENCE ALONG A CURVE TO THE LEFT HAVING A CENTRAL  
 ANGLE OF 100°10'02", A RADIUS OF 504.48 FEET, AN ARC LENGTH  
 OF 132.05 FEET AND A CHORD WHICH BEARS S 78°08'55" W 137.56  
 FEET TO THE POINT OF BEGINNING, CONTAINING 31,580 SQUARE  
 FEET OR 0.725 ACRES MORE OR LESS.



**BETHANY FULL GOSPEL TEMPLE PROPERTY**  
 APPROVAL BY THE COUNTY COMMISSIONERS  
 APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OF ARAPAHOE  
 COUNTY, STATE OF COLORADO, THIS 21th DAY OF May  
 1991, A.D.  
 ATTEST: *[Signature]* BY *[Signature]*  
 CHAIRMAN

MOYER-ADMIN.  
 AMENDMENT

SCALE 1/8"=1'-0"  
 DATE 10/6/80  
 DRAWN J  
 CHECKED  
 APPROVED



FINAL DEVELOPMENT PLAN  
 T.M.A. OFFICE BLDG.  
 7000 S. BROADWAY  
 145-D-LA A

REV	DATE	BY	CHK'D	APP'D	DESCRIPTION
A	5/11/81	J			ADDED TRASH BIN & SOLAR PANEL NOTE

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## Chapter 1—Zoning Regulations

### Part 3000 Current Zone District MU Mixed-Use

Section 11.1.3001	Intent
Section 11.1.3002	Principal Permitted Use
Section 11.1.3003	Accessory Use
Section 11.1.3004	Use Which May Require A P.U.D. Amendment
Section 11.1.3005	Maximum Building Height
Section 11.1.3006	Minimum Yard Requirements
Section 11.1.3007	Minimum Unobstructed Open Space
Section 11.1.3008	Airport Influence Area Regulations
Section 11.1.3009	Special Area and Activity Regulations
Section 11.1.3010	Voided/Deannexed/Disconnected Land Regulations

#### **Section 11.1.3001 Intent**

To provide for mixed use development proposals in the City of Centennial.

#### **Section 11.1.3002 Principal Permitted Use**

Any combination of commercial, industrial, or residential uses permitted by an approved Preliminary Development Plan. Type A Group Homes shall be a principal permitted use when residential uses are a part of the MU-PUD.

#### **Section 11.1.3003 Accessory Use**

As set by an approved Preliminary Development Plan (if any), otherwise:

- A. Building and use customarily appurtenant to the permitted use.
- B. Structure, roof, or building face mounted CMRS facility limited to quasi-public use areas, public use areas, and all areas at least 250 feet from the closest single family attached or detached residential structures (Subject to further restrictions. See section on Commercial Mobile Radio Facilities).

#### **Section 11.1.3004 Use Which May Require a P.U.D. Amendment**

Land uses not approved by an approved Preliminary Development Plan.

#### **Section 11.1.3005 Maximum Building Height**

As set by an approved Preliminary Development Plan.

#### **Section 11.1.3006 Minimum Yard Requirements**

As set by an approved Preliminary Development Plan.

**Section 11.1.3007 Minimum Unobstructed Open Space**

As set by an approved Preliminary Development Plan.

**Section 11.1.3008 Airport Influence Area Regulations**

This zoning district may be affected by the special use and height restrictions and performance regulations as set forth in these Regulations.

**Section 11.1.3009 Special Area and Activity Regulations**

This zoning district may be affected by special area and activity regulations as set forth in Chapter 1, Part 3600.

**Section 11.1.3010 Voided/De-Annexed/Disconnected Land Regulations**

This zone district may affect land that has been de-annexed from a municipality as set forth in these Regulations.