

SITE COVERAGE DATA:

	AREA:	PERCENT:
SITE AREA:	60,545 S.F. (1.39 ACRES)	100%
BUILDING COVERAGE:	9,150 S.F.	15.11%
OPEN SPACE:	19,225 S.F.	31.75% (25% REQ.)
PAVED AREA:	32,170 S.F.	53.14%

# CENTENNIAL LOT 16 LLC - FINAL DEVELOPMENT PLAN

LOT 16, BLOCK 3, CENTENNIAL EAST CORPORATE CENTER, FILING NO. 2  
PART OF THE SW1/4 OF SECTION 30, TOWNSHIP 5S, RANGE 66W OF THE 6TH P.M.  
ARAPAHOE COUNTY, STATE OF COLORADO

SHEET  
1 OF 6

DEVELOPMENT CRITERIA COMPARISON CHART

CRITERIA	PDP Z99-003	FDP P07-001
ZONING:	MU - PUD (MIXED USE - PLANNED UNIT DEVELOPMENT)	MU - PUD (MIXED USE - PLANNED UNIT DEVELOPMENT)
LAND USAGE:	1. RETAIL AND PERSONAL SERVICE COMMERCIAL USE OF ALL KINDS. 2. PROFESSIONAL OFFICES INCLUDING MEDICAL AND DENTAL FACILITIES AND CLINICS. 3. LIGHT INDUSTRIAL OR ASSEMBLING OF PRODUCTS. 4. RESEARCH AND DEVELOPMENT FACILITIES. 5. WAREHOUSING AND DISTRIBUTION FACILITIES. 6. WHOLESALE MERCHANDISE DISPLAY AND SALES.	LIGHT INDUSTRIAL BUILDING W/ OUTDOOR STORAGE APPURTENANCES TO USE OCCURRING IN BUILDING.
BUILDING HEIGHT: (MAXIMUM)	100' (INCLUDING MECHANICAL APPURTENANCES AND SCREENING)	28'-4" SINGLE STORY
BUILDING SETBACK:	MIN. FRONT SETBACK FROM PUBLIC RIGHT-OF-WAY = 30' FROM PRIVATE ROADS = 25' ADJACENT PROPERTY LINES = 10' INTERIOR LOT LINES = SIDE - CORNER = 15'	FRONT - W 72'-0" REAR - E 104'-0" SIDE - N 25'-0" SIDE - S 64'-7"
PARKING SETBACK: PUBLIC R.O.W.	10'-0" ASSUMED, NONE LISTED	20'-0"
SITE AREA:	975.6 ACRES	1.39 ACRES
GROSS FLOOR AREA:		9,150 S.F.
F.A.R. (MAX. FOR P.U.D.)	0.75 : 1	0.15
OPEN SPACE:	25%	30.12%
PARKING REQUIRED:		
OFFICE	3 SPACES PER 1000 SF OF FLOOR AREA	3 SPACES/1000 SF X 3,100 = 10
WAREHOUSE	1 SPACE PER 1000 SF OF FLOOR AREA	1 SPACES/1000 SF X 6,125 = 7 1 SPACES/LOADING DOCK = 2
IDENTIFICATION SIGNS INDIVIDUAL SITE	NOT TO EXCEED ONE PER ENTRANCE TO SITE, NOT TO EXCEED 10'-0" TALL AND NOT TO EXCEED 80 S.F. PER SIGN FACE.	ONE SIGN WITH TWO FACES. SIGN IS 6" HIGH X 8' WIDE
FASCIA SIGNS:	NOT TO EXCEED 200 SF IN TOTAL SIGN AREA PER SIGN	SIGN IS 72' FROM R.O.W. = 18" MAX. LETTER HT. 149'-4" BUILDING FACIA X 2/3 = 100' 100' X 18" LETTER HEIGHT = 150 S.F. MAX

STANDARD NOTES

THE OWNER(S), DEVELOPER(S) AND/OR SUBDIVIDER(S) OF THE FINAL DEVELOPMENT PLAN KNOWN AS CENTENNIAL LOT 16 LLC, THEIR RESPECTIVE SUCCESSORS, HEIRS AND/OR ASSIGNS AGREE TO THE FOLLOWING NOTES:

STREET MAINTENANCE

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE DEDICATED ROADWAYS SHOWN ON THIS PLAN WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE CONSTRUCTION PLANS ARE APPROVED, AND PROVIDED CONSTRUCTION OF SAID ROADWAYS IS STARTED WITHIN ONE YEAR OF THE CONSTRUCTION PLAN APPROVAL. THE OWNERS, DEVELOPERS AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE COUNTY ACCEPTS THE RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

DRAINAGE MAINTENANCE

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENTS. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO MAINTAINING THE SPECIFIED STORM WATER DETENTION/RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASINS. ARAPAHOE COUNTY SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME. IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED, THE COUNTY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

EMERGENCY ACCESS NOTE

EMERGENCY ACCESS IS GRANTED HERewith OVER AND ACROSS ALL PAVED AREAS FOR POLICE, FIRE AND EMERGENCY VEHICLES.

DRIVES, PARKING AREAS, AND UTILITY EASEMENTS MAINTENANCE

THE OWNERS OF THIS PLAN, THEIR SUCCESSORS, AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AND ALL DRIVES, PARKING AREAS, AND EASEMENTS, I.E.: CROSS ACCESS EASEMENTS, DRAINAGE EASEMENTS, ETC.

DRAINAGE LIABILITY

IT IS THE POLICY OF ARAPAHOE COUNTY THAT IT DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE DRAINAGE FACILITIES DESIGNED AND/OR CERTIFIED BY HCL ENGINEERING. ARAPAHOE COUNTY REVIEWS DRAINAGE PLANS PURSUANT TO COLORADO REVISED STATUTES TITLE 30, ARTICLE 28, BUT CANNOT, ON BEHALF OF CENTENNIAL LOT 16 LLC, GUARANTEE THAT FINAL DRAINAGE DESIGN REVIEW WILL ABSOLVE CENTENNIAL LOT 16 LLC, AND/OR THEIR SUCCESSORS AND/OR ASSIGNS OF FUTURE LIABILITY FOR IMPROPER DESIGN. IT IS THE POLICY OF ARAPAHOE COUNTY THAT APPROVAL OF THE FINAL PLAT AND/OR FINAL DEVELOPMENT PLAN DOES NOT IMPLY APPROVAL OF HCL ENGINEERING DRAINAGE DESIGN.

LANDSCAPE MAINTENANCE

THE OWNERS OF THIS PLAN, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNER'S ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING, LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE FENCE LINE/PROPERTY LINE AND ANY PAVED ROADWAYS.

THE OWNERS OF THIS PLAN, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, OR SOME OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.

SIGHT TRIANGLE MAINTENANCE

THE OWNERS OF PRIVATE PROPERTY CONTAINING A TRAFFIC SIGHT TRIANGLE ARE PROHIBITED FROM ERECTING OR GROWING ANY OBSTRUCTIONS OVER THREE FEET IN HEIGHT ABOVE THE ELEVATION OF THE LOWEST POINT ON THE CROWN OF THE ADJACENT ROADWAY WITHIN SAID TRIANGLE.

PUBLIC IMPROVEMENTS NOTE

AFTER FINAL DEVELOPMENT PLAN/FINAL PLAT APPROVAL, ISSUANCE OF INDIVIDUAL BUILDING PERMITS WILL BE SUBJECT TO THE FOLLOWING STIPULATIONS AND/OR CONDITIONS PRECEDENT, WHICH OWNER AGREES TO IN CONJUNCTION WITH APPROVAL OF THE FINAL DEVELOPMENT PLAN AND/OR FINAL PLAT. SUCH BUILDING PERMITS WILL BE ISSUED ONLY AFTER THE OWNERS GUARANTEE PUBLIC IMPROVEMENTS IN A FORM ACCEPTABLE TO THE BOARD OF COUNTY COMMISSIONERS PURSUANT TO STATE STATUTE.

DRAINAGE MASTER PLAN NOTE

THE POLICY OF THE COUNTY REQUIRES THAT ALL NEW DEVELOPMENT AND REDEVELOPMENT SHALL PARTICIPATE IN THE REQUIRED DRAINAGE IMPROVEMENTS AS SET FORTH BELOW:

- DESIGN AND CONSTRUCT THE LOCAL DRAINAGE SYSTEM AS DEFINED BY THE PHASE III DRAINAGE REPORT AND PLAN.
- DESIGN AND CONSTRUCT THE CONNECTION OF THE SUBDIVISION DRAINAGE SYSTEM TO A DRAINAGEWAY OF ESTABLISHED CONVEYANCE CAPACITY SUCH AS A MASTER PLANNED OUTFALL STORM SEWER OR MASTER PLANNED MAJOR DRAINAGEWAY. THE COUNTY WILL REQUIRE THAT THE CONNECTION OF THE MINOR AND MAJOR SYSTEMS PROVIDE CAPACITY TO CONVEY ONLY THOSE FLOWS (INCLUDING OFF-SITE FLOWS) LEAVING THE SPECIFIC DEVELOPMENT SITE. TO MINIMIZE OVERALL CAPITAL COSTS, THE COUNTY ENCOURAGES ADJACENT DEVELOPMENTS TO JOIN IN DESIGNING AND CONSTRUCTING CONNECTION SYSTEMS. ALSO, THE COUNTY MAY CHOOSE TO PARTICIPATE WITH A DEVELOPER IN THE DESIGN AND CONSTRUCTION OF THE CONNECTION SYSTEM.
- EQUITABLE PARTICIPATION IN THE DESIGN AND CONSTRUCTION OF THE MAJOR DRAINAGEWAY SYSTEM THAT SERVES THE DEVELOPMENT AS DEFINED BY ADOPTED MASTER DRAINAGE WAY PLANS (SECTION 3.3.2 OF THE ARAPAHOE DRAINAGE CRITERIA MANUAL) OR AS REQUIRED BY THE COUNTY AND DESIGNATED IN THE PHASE III DRAINAGE REPORT.

STORMWATER MAINTENANCE

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL PERMANENT BEST MANAGEMENT PRACTICES (BMP'S) AND STORMWATER FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENTS AND THE OPERATIONS AND MAINTENANCE (O and M) GUIDE IN THE CASE OF PERMANENT BMP'S. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, MAINTAINING THE SPECIFIED BMP'S CONTAINED IN THE O and M MANUAL RECORDED AT RECEPTION NUMBER B9028412, AND THE STORMWATER FACILITIES SHOWN IN THE APPROVED PHASE III DRAINAGE REPORT AND SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS.

THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, OR SOME ENTITY OTHER THAN ARAPAHOE COUNTY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL PERMANENT BMP'S AND/OR STORMWATER FACILITIES ASSOCIATED WITH THIS DEVELOPMENT. IF THE PERMANENT BMP'S AND STORMWATER FACILITIES ARE NOT PROPERLY MAINTAINED, THE COUNTY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

PRIVATE STREET MAINTENANCE

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE PRIVATE ROADWAYS SHOWN ON THIS PLAN ARE NOT IN CONFORMANCE WITH ARAPAHOE COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS AND WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION. THE OWNERS, DEVELOPERS, AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE COUNTY ACCEPTS RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

SPECIFIC NOTES

AIRPORT INFLUENCE AREA NOTE (OFF-SITE IMPROVEMENTS)  
TO CARRY OUT ONE OR MORE OF THE FOLLOWING AS MAY BE REQUIRED BY THE BOARD OF COUNTY COMMISSIONERS:

- TO INCLUDE SAID DEVELOPMENT WITHIN A SPECIAL DISTRICT FOR THE PURPOSE OF PARTICIPATION IN THE CONSTRUCTION OF NECESSARY OFF-SITE IMPROVEMENTS AT THE TIME OF APPROVAL OF FINAL DEVELOPMENT PLANS.
- TO COOPERATE WITH OTHER OWNERS OF OTHER PARCELS AND/OR OTHER SPECIAL DISTRICTS IN OFF-SITE ROADWAY IMPROVEMENTS AS NECESSITATED BY THE DEVELOPMENT IMPACTS AS MAY BE DETERMINED BY THE BOARD OF COUNTY COMMISSIONERS.
- TO COMPLETE SUCH OTHER IMPROVEMENTS TO PUBLIC ROADWAYS BROUGHT ABOUT OR IMPACTED BY THIS DEVELOPMENT AS MAY BE DETERMINED BY THE BOARD OF COUNTY COMMISSIONERS.
- TO PARTICIPATE AND COOPERATE IN ANY TRANSPORTATION MANAGEMENT PROGRAM AS SPECIFIED IN THE AIRPORT INFLUENCE AREA TRANSPORTATION STUDY, IF SUCH A PROGRAM IS APPROVED AND/OR ADOPTED BY THE BOARD OF COUNTY COMMISSIONERS.

AIRPORT INFLUENCE AREA NOTE (EASEMENT/HAZARD EASEMENT)  
AN AVIGATION AND HAZARD EASEMENT AFFECTING ALL PROPERTY CONTAINED WITHIN THIS FINAL DEVELOPMENT PLAN HAS BEEN LEGALLY EXECUTED. SAID EASEMENT DOCUMENT CAN BE FOUND IN RECEPTION NO. A8093463 OF THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER.

THE LANDS CONTAINED WITHIN THIS FINAL DEVELOPMENT PLAN LIE WITHIN THE AIRPORT INFLUENCE AREA, AN AREA WHICH IS LIKELY TO BE AFFECTED BY AIRCRAFT OPERATIONS AND THEIR POTENTIAL NOISE AND/OR CRASH HAZARDS TO A GREATER DEGREE THAN LANDS SITUATED OUTSIDE OF THE INFLUENCE AREA.

ALL LANDS CONTAINED WITHIN THIS FINAL DEVELOPMENT PLAN SHALL COMPLY WITH F.A.R. PART 77, "HEIGHT AND OBSTRUCTIONS CRITERIA".

STREET LIGHTING

ALL LOTS ARE SUBJECT TO AND BOUND BY TARIFFS WHICH ARE NOW AND MAY IN THE FUTURE BE FILED WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO RELATING TO STREET LIGHTING IN THIS PLAN, TOGETHER WITH RATES, RULES, AND REGULATIONS THEREIN PROVIDED AND SUBJECT TO ALL FUTURE AMENDMENTS AND CHANGES THERETO. THE OWNER OR OWNERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL PAY AS BILLED, A PORTION OF THE COST OF PUBLIC STREET LIGHTING IN THE PLAN ACCORDING TO APPLICABLE RATES, RULES, AND REGULATIONS, INCLUDING FUTURE AMENDMENTS AND CHANGES ON FILE WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO.

SHEET INDEX:

FDP-1	COVER
FDP-2	SITE PLAN
FDP-3	LANDSCAPING PLAN
FDP-4	LANDSCAPING DETAILS
FDP-5	ELEVATIONS
FDP-6	PHOTOMETRIC

OWNER:  
CENTENNIAL LOT 16, LLC  
14250 EAST EASTER PLACE  
CENTENNIAL, CO 80112  
T:(303) 733-9999  
F:(303) 733-9993  
DON GALLUP

ARCHITECT:  
INTERGROUP ARCHITECTS  
2000 W. LITTLETON BLVD.  
LITTLETON, CO 80120  
T:(303) 738-8877  
F:(303) 738-2294  
KRIS BELTER

CIVIL:  
HCL ENGINEERS  
9570 KINGSTON CT. #310  
ENGLEWOOD, CO 80112  
T:(303) 773-1605  
F:(303) 773-3297  
TYLER LOWE

LANDSCAPE:  
LAND ARCHITECTS  
1825 SHARP POINT DR., SUITE 126  
FORT COLLINS, CO 80525  
T:(970) 484-4100  
F:(970) 484-4111  
ERIC HUETIG

PHOTOMETRICS:  
M.E.P. ENGINEERING  
3565 S. YOSEMITE ST.  
DENVER, CO 80237  
T:(303) 936-1633  
F:(303) 934-3299  
JEFF CARNEY

GENERAL NOTE:

LANDSCAPING

ALL LANDSCAPE IMPROVEMENTS AND RELATED APPURTENANCES PLACED OR RELOCATED WITHIN ARAPAHOE COUNTY RIGHT-OF-WAY MUST BE REVIEWED AND APPROVED BY THE ARAPAHOE COUNTY DIVISION OF ENGINEERING.

CERTIFICATE OF OWNERSHIP

I, Don Gallup HEREBY AFFIRM THAT I AM THE OWNER OR AUTHORIZED AGENT OF ALL INDIVIDUALS HAVING OWNERSHIP INTEREST IN THE PROPERTY DESCRIBED HEREIN, KNOWN AS CENTENNIAL LOT 16 LLC-FINAL DEVELOPMENT PLAN CASE#P07-001

OWNERS RECORD OR AUTHORIZED AGENT

STATE OF COLORADO S.S.  
COUNTY OF ARAPAHOE



THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12<sup>th</sup> DAY OF July, A.D. 2009

BY Don Gallup  
AS OWNER

OF Centennial Lot 16 LLC AN AUTHORIZED SIGNATORY.

BY: Da Bamea  
NOTARY PUBLIC/WITNESS MY HAND AND OFFICIAL SEAL

(ADDRESS) 7200 S. BLACKHAWK ST. 201  
(CITY) ENGLEWOOD (STATE) COLO.  
(ZIP CODE) 80112  
MY COMMISSION EXPIRES 3-3-2012

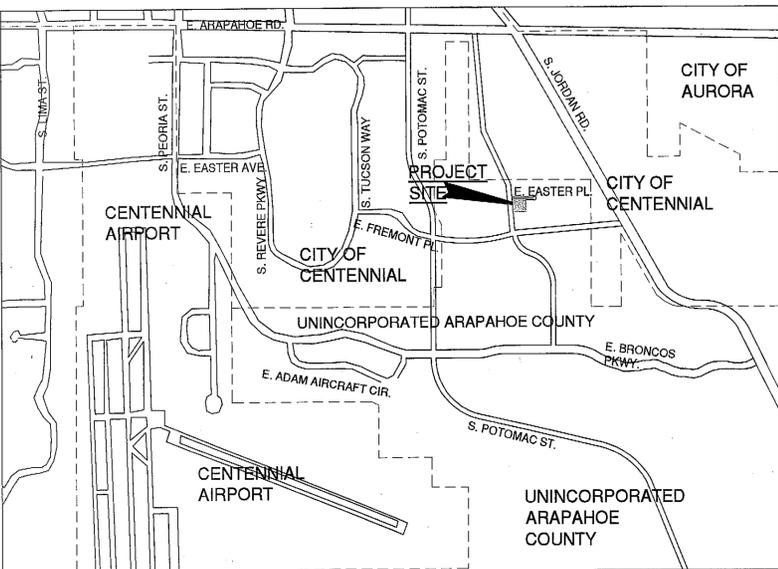
PLANNING COMMISSION RECOMMENDATION  
APPROVED BY THE ARAPAHOE COUNTY PLANNING COMMISSION,  
THIS 18<sup>th</sup> DAY OF December, A.D. 2007

CHAIR: Paul H. Rosenberg

BOARD OF COUNTY COMMISSIONERS APPROVAL  
APPROVED BY THE ARAPAHOE COUNTY BOARD OF COMMISSIONERS,  
THIS 13<sup>th</sup> DAY OF May, A.D. 2008

CHAIR: Gregory Beckman

ATTEST: Mary J. Whittier  
Chief Clerk



VICINITY MAP

SCALE: N.T.S

CASE NO. P07-001

KB-6800a



INTERGROUP  
ARCHITECTURE - INTERIOR DESIGN

2000 WEST LITTLETON BOULEVARD  
LITTLETON, COLORADO 80120  
(303) 738-8877 FAX: (303) 738-2294

CENTENNIAL LOT 16 LLC

FINAL DEVELOPMENT PLAN  
14158 EAST EASTER PLACE  
CENTENNIAL EAST CORPORATE CENTER, FILING NO. 2  
ARAPAHOE COUNTY, COLORADO

DATE	
7-12-06	PRELIM. MTG.
8-31-06	PRELIM.
12-12-06	FDP SUBMIT.
5-23-07	FDP SUBMIT.
4-11-08	FDP RESUBMIT.
5-27-08	FDP RESUBMIT.
12-23-08	FDP RESUBMIT.
2-20-09	FDP RESUBMIT.
6-26-09	FDP RESUBMIT.

FDP-1

# CENTENNIAL LOT 16 LLC - FINAL DEVELOPMENT PLAN

LOT 16, BLOCK 3, CENTENNIAL EAST CORPORATE CENTER, FILING NO. 2  
 PART OF THE SW1/4 OF SECTION 30, TOWNSHIP 5S, RANGE 66W OF THE 6TH P.M.  
 ARAPAHOE COUNTY, STATE OF COLORADO

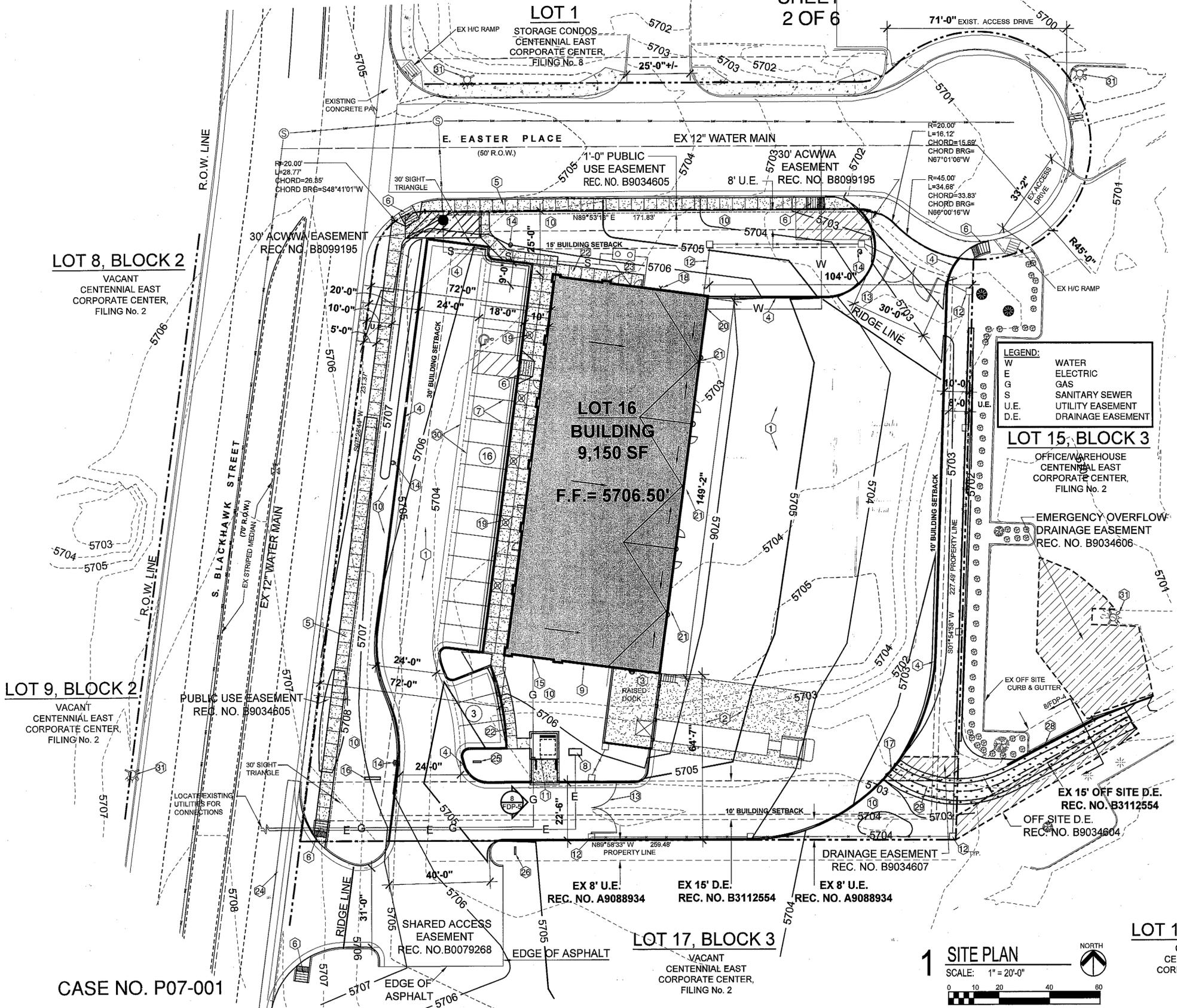
SHEET  
 2 OF 6

KEY NOTES:

- FULL DEPTH ASPHALT PAVING.
- CONCRETE TRUCK PAVING WITH 6 x 6 - W2.9x W2.9 W.W.F. AND BROOM FINISH. MAXIMUM AREA BETWEEN CONTROL JOINTS NOT TO EXCEED 400 S.F. CONSTRUCTION JOINTS TO BE INSTALLED WITH 1/2" DIA. DOWELS @ 18" O.C. CAULK JOINT WHEN COMPLETED. (TRUCK PAVING INDICATED ON PLAN WITH STIPPLE PATTERN).
- 48" HIGH LOADING DOCK AREA.
- NEW 8" VERTICAL CONCRETE CURB AND GUTTER, RADIUS ALL OUTSIDE CORNERS, TYPICAL. ALL LANDSCAPING AT CONCRETE CURBS TO BE FLUSH WITH TOP OF CURB.
- NEW 6" THICK X 5" WIDE REINFORCED CONCRETE FLAT WORK WITH 6 x 6 - W1.4x W1.4 W.W.F. AND BROOM FINISH.
- NEW CURB RAMP FOR HANDICAP ACCESS.
- 1:12 SLOPE MAX. WITH TRUNCATED DOMES PER ARAPAHOE CO. DETAIL.
- PAINTED WHITE LINES - 4" WIDE. 9" X 18" STANDARD STALLS.
- ELECTRICAL TRANSFORMER ON CONCRETE PAD.
- ELECTRICAL SWITCH GEAR.
- IRRIGATED LANDSCAPE AREA. SEE PLANTING PLAN FDP-3.
- TRASH ENCLOSURE. SEE DETAIL 4 / SHEET # FDP-2.
- NEW 9" HIGH WOOD POST FENCE WITH CULTURED STONE PILASTERS. SEE DETAILS 5 / SHEET # FDP-5.
- 20' WIDE X 6' HIGH CHAINLINK GATE. SEE DETAILS 8 / SHEET # FDP-5. PROVIDE KNOX KEY SWITCH IF ELECTRICAL OPENER OR KNOX PAD LOCK IF MANUAL OPERATED.
- LIGHT POLE. SEE FDP-6.
- GAS METER LOCATION.
- PROJECT IDENTIFICATION SIGN. SEE DETAIL 5 / SHEET # FDP-2.
- 3" CURB DEPRESSION FOR WATER RUN-OFF. SEE CIVIL CONSTRUCTION DRAWINGS.
- FIRE DEPT. CONNECTION.
- TREE GRATE (TYPICAL OF 5). SEE LANDSCAPING.
- DOMESTIC WATER ENTRY.
- DOWNSPOUT LOCATION.
- NEW 4" THICK X 5" WIDE REINFORCED CONCRETE FLAT WORK WITH 6 x 6 - W1.4x W1.4 W.W.F. AND BROOM FINISH.
- KNOX BOX LOCATION. INSTALL PER FIRE DEPARTMENT RECOMMENDATIONS.
- NEW CONCRETE PAD.
- "NO TRUCK TRAFFIC" SIGN.
- "LOADING ACCESS ONLY" SIGN.
- NOT USED.
- RETAINING WALL.
- GRASS LINED SWALE. SEE DETAIL 8 / SHEET FDP-4.
- 4" CONCRETE PAD.
- EXISTING FIRE HYDRANT.

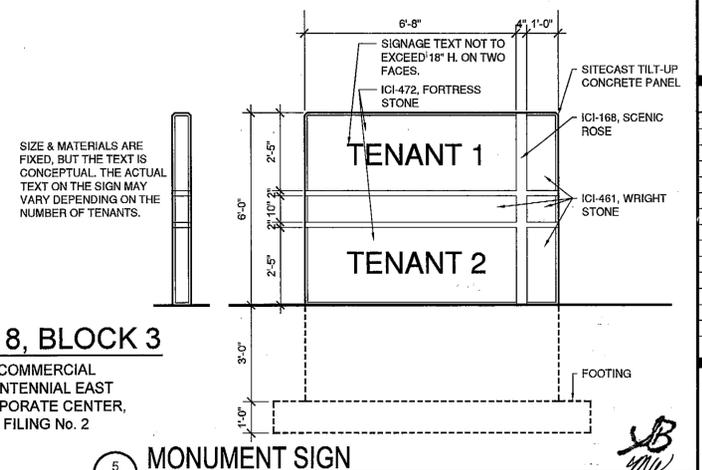
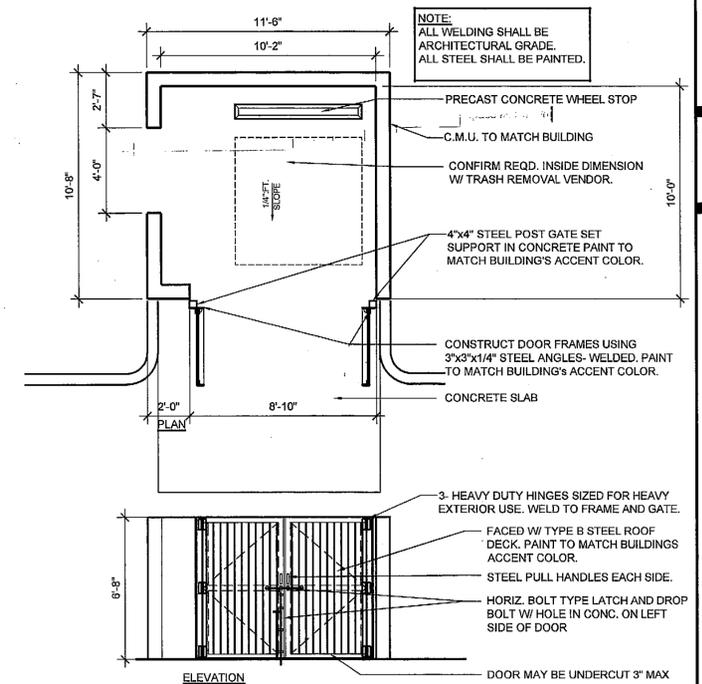
GENERAL NOTE:

- THE CENTENNIAL LOT 16 LLC SITE IS NOT LOCATED WITHIN A FEMA 100-YR FLOODPLAIN. THE SITE IS LOCATED WITHIN ZONE X OF FIRM MAP NO. 08055C04603.



**LEGEND:**

- W WATER
- E ELECTRIC
- G GAS
- S SANITARY SEWER
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT



**KB-6800a**

**INTERGROUP**  
 ARCHITECTURE  
 PLANNING - INTERIOR DESIGN

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**FDP-2**

CASE NO. P07-001

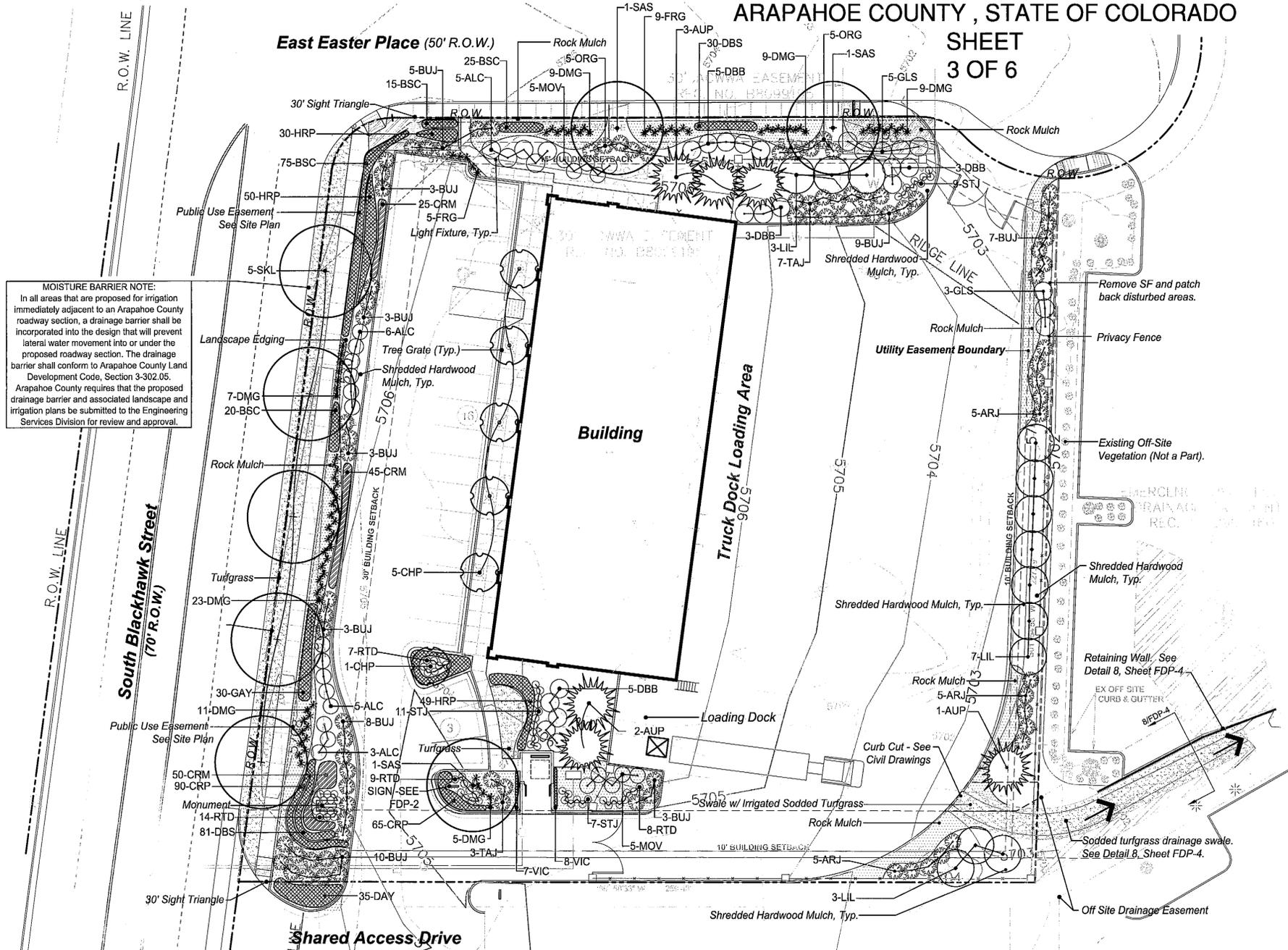
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ARAPAHOE COUNTY, STATE OF COLORADO

SHEET  
3 OF 6

### Disclaimer

The Landscape Architect has prepared these plans from base information provided to him through Intergru Architects on 2/13/2009 & 6/26/2009. The existence and location of any underground utility pipes, structures and wires shown on these plans were obtained from said base information, and no certification is made as to the accuracy or thoroughness of this information. Approval of this plan by the owner does not constitute a representation as to the accuracy of location or the existence or nonexistence of any underground utility pipe, wire or structure within the limits of this project. The contractor is responsible for taking all due precautionary measures to protect any existing utility lines not of record or not shown on the plans. Contractor shall familiarize himself with these plans for pertinent information relating to site construction.



**MOISTURE BARRIER NOTE:**  
In all areas that are proposed for irrigation immediately adjacent to an Arapahoe County roadway section, a drainage barrier shall be incorporated into the design that will prevent lateral water movement into or under the proposed roadway section. The drainage barrier shall conform to Arapahoe County Land Development Code, Section 3-302.05. Arapahoe County requires that the proposed drainage barrier and associated landscape and irrigation plans be submitted to the Engineering Services Division for review and approval.

### Master Tree Legend / Quantities

Symbol	Botanical Name	Common Name	2"	2.5"	3"	6"	8"	Comments
<b>Deciduous Trees</b>								
SAS	Fraxinus pennsylvanica 'Summit'	Summit Ash	3	-	-	-	-	Space as Shown
SKL	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	5	-	-	-	-	Space as Shown
			<b>total:</b>	<b>8</b>				
<b>Ornamental Trees</b>								
CHP	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	6	-	-	-	-	Space as Shown
			<b>total:</b>	<b>6</b>				
<b>Evergreen Trees</b>								
AUP	Pinus nigra	Austrian Pine	-	-	-	6	-	Space as Shown
			<b>total:</b>	<b>6</b>				
			<b>overall tree total:</b>	<b>20</b>				

### Master Shrub, Grass, & Perennial Legend / Quantities

Symbol	Botanical Name	Common Name	4" Pot	1Gal	5Gal	15Gal	B&B	Comments
<b>Deciduous Shrubs</b>								
RTD	Cornus sericea 'Kelsey'	Kelsey Red Twig Dogwood	-	-	38	-	-	Space as Shown
DBB	Euonymus alatus 'Compacta'	Dwarf Burning Bush	-	-	16	-	-	Space as Shown
STJ	Hypericum 'Hidcote'	St. Johnswort	-	-	27	-	-	Space as Shown
ALC	Ribes alpinum	Alpine Currant	-	-	19	-	-	Space as Shown
GLS	Rhus aromatica 'Grow-Low'	Grow Low Sumac	-	-	8	-	-	Space as Shown
LIL	Syringa vulgaris 'Sensation'	Sensation Purple/White Lilac	-	-	13	-	-	Space as Shown
MOV	Viburnum lantana 'Mohican'	Mohican Viburnum	-	-	10	-	-	Space as Shown
			<b>total:</b>	<b>131</b>				
<b>Evergreen Shrubs</b>								
ARJ	Juniperus chinensis 'Armstrong'	Armstrong Juniper	-	-	15	-	-	Space as Shown
TAJ	Juniperus sabina 'Tamariscifolia'	Tammy Juniper	-	-	10	-	-	Space as Shown
BUJ	Juniperus sabina 'Buffalo'	Buffalo Juniper	-	-	54	-	-	Space as Shown
ORG	Mahonia aquifolium	Oregon Grapeholly	-	-	10	-	-	Space as Shown
			<b>total:</b>	<b>89</b>				
			<b>overall shrub total:</b>	<b>220</b>				
<b>Vines</b>								
VIC	Parthenocissus quinquefolia	Virginia Creeper	-	15	-	-	-	12" O.C.
			<b>total:</b>	<b>15</b>				
<b>Ornamental Grasses</b>								
FRG	Calamagrostis arundinacea 'Karl Foerster'	Feather Reed Grass	-	14	-	-	-	Space as Shown
DMG	Miscanthus sinensis 'Yaku Jima'	Dwarf Maiden Grass	-	73	-	-	-	Space as Shown
			<b>total:</b>	<b>87</b>				
<b>Perennials &amp; Groundcovers</b>								
BSC	Coreopsis x grandiflora 'Baby Sun'	Baby Sun Coreopsis	-	135	-	-	-	18" O.C.
DAY	Heremacallis Spp.	Daylily - See Note 1 Below	-	35	-	-	-	24" O.C.
GAY	Liatris spicata	Gayleather	-	30	-	-	-	24" O.C.
CRM	Mahonia repens	Creeping Mahonia	-	120	-	-	-	18" O.C.
HRP	Penstemon digitalis 'Husker Red'	Husker Red Penstemon	-	114	-	-	-	18" O.C.
CRP	Phlox subulata	White Creeping Phlox	-	155	-	-	-	12" O.C.
DBS	Sedum 'Dragon's Blood'	Dragon's Blood Sedum	-	111	-	-	-	12" O.C.
			<b>total:</b>	<b>700</b>				

### PLANTING LEGEND NOTE:

1. Areas labeled "DAY" shall consist of an even mixture of Red Daylily and Orange Daylily.

### Landscape Calculations

Site Area:	±60,545 s.f. (±1.39 Ac.)	100%
Building Coverage:	±9,150 s.f. (±0.21 Ac.)	15.1%
Landscape Area (excl. R.O.W.):	±19,225 s.f. (±0.44 Ac.)	31.8%
Paved Area:	±32,170 s.f. (±0.74 Ac.)	53.1%

### Plant Requirement per County Code

County Code 1-4806.02

Within a required landscape area for commercial, industrial and business development, the following ratios apply:  
- One (1) tree and ten (10) shrubs or an acceptable combination of trees and shrubs for every 1000 square feet of landscaped area.

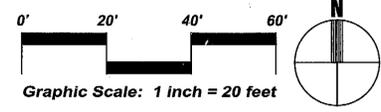
1 Tree/1000 s.f. x 19,225 s.f. = **20 Trees Required**  
20 Trees Provided (See Plant Legend)

10 shrubs/1000 s.f. x 19,225 s.f. = **193 Shrubs Required**  
220 Shrubs Provided (See Plant Legend)

### General Landscape Notes

- All landscape improvements and related appurtenances placed or relocated within Arapahoe County Rights-of-Way must be reviewed and approved by the Arapahoe County Division of Engineering.
- All topsoil shall be amended with compost at a rate of 5 cubic yards per thousand square feet of landscape area. Compost shall be mechanically integrated into the top 6" of soil using tiller or ripper teeth equipment. Ground cover & perennial bed areas shall be amended at a rate of 8 cubic feet per thousand square feet, rototilled to a depth of 8".
- Soil amendment fertilizer shall have the chemical analysis of Nitrogen-18, Phosphorous-46, Potash-0. Fertilizer shall be mechanically integrated into the amended soil-compost mixture at a rate of 5 pounds per thousand square feet.
- All edging shall be 6 inch painted steel with protective cap. All edging shall overlap at joints a minimum of 6 inches and shall be fastened with a minimum of 4 pins per 10 foot section.
- After all planting is complete, contractor shall install landscape fabric and the specified landscape mulch throughout all exposed landscape areas. Contractor shall submit samples of all mulches to Landscape Architect for approval prior to construction. Absolutely no exposed ground shall be left showing anywhere on the project after mulch has been installed. 1"-2" rock cobble shall be installed in planting bed areas indicated "rock mulch". Shredded hardwood mulch at a minimum depth of 4 inches shall be installed in all remaining planting bed areas.
- All turfgrass, trees, shrubs, and flowers shall be irrigated by automatic irrigation system using sprinkler and drip emitters as required to adequately supplement moisture requirements. Landscape and irrigation plans for areas included within Rights-of-Way and Public Use Easements shall be included within construction documents.
- All planting pits shall be 2 times the width of the plant root ball with scarified walls. Soil backfill shall consist of a minimum of 1/3 peat moss or other organic matter homogeneously mixed into the backfill.
- No substitutions of plant material shall be made without the written consent of the owner.
- All trees shall be staked with 6 foot T-posts and guyed with #12 galvanized wire through rubber hose loops for a minimum of 1 year. All guy wires shall be covered by 1/2 inch white PVC pipe for safety.
- All trees, shrubs, perennials, sod and / or seed areas shall be guaranteed to remain alive and healthy for a 12 month period after initial acceptance. Replacements shall be guaranteed an additional 12 months until final acceptance. During the guarantee period, the contractor shall notify the owner, in writing, of any maintenance deficiencies. All replacement costs shall be borne by the contractor.

- The contractor shall be responsible for visiting the site prior to bidding. It is further recommended the contractor test soils to ensure no contamination is present. Verify static water pressure for irrigation system requirements, and review plans for conflicts. Any and all conflicts without exception shall be reported to the developer immediately. *Static water pressure has not been verified at the time of this submittal.*
- All plant materials shall be true to type, size, species, and quality. Plant materials shall be free of injury, broken root balls, pests, and diseases, and conform to specified minimum size and condition requirements as described in the "American Standard for Nursery Stock."
- All landscape construction practices, workmanship, and ethics shall be in accordance with industry standards set forth in the contractors handbook published by the Colorado Landscape Contractors Association.
- The contractor shall verify the location of and protect all utilities and structures prior to and during construction. Damage to utilities and structures shall be repaired by and at the expense of the contractor to the satisfaction of the owner.
- All plant materials shall not be planted closer than 4 feet to building foundation wall, coniferous trees no closer than 10 feet to public street improvements (sidewalks, curb, and gutter).
- The landscape contractor shall notify the owner one week prior to beginning construction. Final location of all trees shall be verified by the owner's representative in the field prior to excavation of planting pits.
- The landscape architect shall not be responsible for delays, personal injuries, plant mortality, or property damage resulting from or associated with the implementation of this plan.
- The developer, his / her successors and assigns, shall be responsible for installation, maintenance and replacement of all landscaping materials shown or indicated on the approved site plan or landscape plan, on file in the planning department. All landscaping shall be installed as delineated on the plan, prior to issuance of certificate of occupancy.
- All utility easements shall remain unobstructed & fully accessible for maintenance equipment along the entire easement length.
- Tree placing is approximate and must be evaluated on-site for UG utilities.
- No trees shall be planted above sanitary sewer, water lines or within the limits of the water quality swale.
- During construction, contractor shall place erosion control logs adjacent to existing walks to minimize erosion & loss.
- Areas indicated as turfgrass shall be planted with an Arapahoe County and owner approved rhizomatous fescue sod turf.



### Landscape Legend

(+)	Canopy Tree	***	Ornamental Grass
(o)	Ornamental Tree	[diagonal lines]	Evergreen Groundcover
(*)	Evergreen Tree	[cross-hatch]	Groundcover-Perennial-Vine
(o)	Evergreen Shrub	[dotted]	Sodded Turfgrass
(o)	Deciduous Shrub	[stippled]	1"-2" Rock Cobble Mulch

KB-6800a

**LANDSCAPE ARCHITECTS**  
perspective | balance  
Land Planning | Urban Design | Landscape Architecture | Park Planning  
1625 Sharp Point Drive, Suite 125 • Fort Collins, CO 80525 • PH: 970.484.4100 • FX: 970.484.4111



*Kenneth Puncerelli*  
3.3.09

CENTENNIAL LOT 16 LLC

FINAL DEVELOPMENT PLAN  
14158 EAST EASTER PLACE  
CENTENNIAL EAST CORPORATE CENTER, FILING NO. 2  
ARAPAHOE COUNTY, COLORADO

DATE	
7-12-06	PRESUB. MTG.
8-31-06	PRELIM.
12-12-06	FDP SUBMIT.
5-23-07	FDP RESUBMIT.
4-11-08	FDP RESUBMIT.
5-27-08	FDP RESUBMIT.
12-23-08	FDP RESUBMIT.
2-11-09	FDP RESUBMIT.
2-20-09	FDP RESUBMIT.
6-29-09	FDP RESUBMIT.

FDP-3

CASE NO. P07-001

*JB*

# CENTENNIAL LOT 16 LLC - FINAL DEVELOPMENT PLAN

LOT 16, BLOCK 3, CENTENNIAL EAST CORPORATE CENTER, FILING NO. 2  
PART OF THE SW1/4 OF SECTION 30, TOWNSHIP 5S, RANGE 66W OF THE 6TH P.M.  
ARAPAHOE COUNTY, STATE OF COLORADO

SHEET  
4 OF 6

KB-6800a

**LAND ARCHITECTS**  
perspective | balance  
Land Planning | Urban Design | Landscape Architecture | Park Planning  
1825 Sharp Point Drive, Suite 120 • Fort Collins, CO 80526 • Ph: 970-684-4100 • Fx: 970-684-4111

**KENNETH PUNGERELLI**  
LA-461  
01/01/2008  
Original Date of License  
STATE OF COLORADO  
LICENSED LANDSCAPE ARCHITECT  
*Kenneth Pungerelli*  
18.3.09

**CENTENNIAL LOT 16 LLC**  
FINAL DEVELOPMENT PLAN  
14158 EAST EASTER PLACE  
CENTENNIAL EAST CORPORATE CENTER, FILING NO. 2  
ARAPAHOE COUNTY, COLORADO

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2-11-09	FDP RESUBMIT.
2-20-09	FDP RESUBMIT.
6-29-09	FDP RESUBMIT.

FDP-4

## PLANTING NOTES:

1. Call UNCC at (303) 232-1991 prior to any excavation.
2. All work shall conform to applicable local codes.
3. The contractor shall make himself aware of the locations of existing and proposed utilities, and shall be responsible for any damage to the utilities and/or any injury to any person.
4. The contractor shall take extreme care not to damage any existing plant material. Any plant material damaged by the contractor shall be replaced with the same species, size, and quantity at the contractor's own expense, and as acceptable to the owner. Refer to the tree protection notes on the plans (as applicable).
5. After finish grades have been established, contractor shall have soil samples tested by an established soil testing laboratory for the following: soil fertility, organic matter content, agricultural suitability, and lime, salt, and boron content. Each sample submitted shall contain no less than one quart of soil. Contractor shall also submit the project's plant list to the laboratory along with the soil samples. The soil report produced by the laboratory shall contain recommendations for the following (as appropriate): general soil preparation and backfill mixes, pre-plant fertilizer applications, and any other soil related issues. The report shall also provide a fertilizer program for the establishment period and for long-term maintenance.
6. The contractor shall install soil amendments and fertilizers per the soils report recommendations, and after receiving a change order from the owner. Any change in cost due to the soil report recommendations shall be submitted to the owner with the report. Refer to specifications for soil preparation methods.
7. For bidding purposes only, the soil preparation shall consist of the following:

### Trees, Shrubs, and Perennials - Backfill Only:

- 6 parts by volume on-site soil
- 2 parts by volume nitrogen stabilized organic amendment
- 10 lbs. 12-12-12 fertilizer per cu.yd.
- 10 lbs. agricultural gypsum per cu.yd.
- 2 lbs. iron sulphate per cu.yd.

8. After soil preparation and establishment of final grades, prior to any planting, the contractor shall irrigate thoroughly for approximately two to three weeks, until weed seeds have germinated. When there is sufficient weed seed germination, the contractor shall apply a post emergent contact herbicide according to the directions of the manufacturer. The contractor shall then wait an additional two (2) weeks to allow the herbicide to dissipate, then plant as indicated on the plans. The contractor shall remove any residual weed foliage and/or roots in flat area. A pre-emergent herbicide is recommended in areas not receiving seeded material or ornamental grasses. Specifications book procedures shall take precedence over these procedures.
9. All plant locations are diagrammatic. Actual locations shall be verified with the landscape architect prior to planting.

10. All plant material within a species shall have similar size, and shall be of a form typical for the species. Any plant deemed unacceptable by the landscape architect shall be immediately removed from the site and shall be replaced with an acceptable plant of like type and size at the contractor's own expense. Any material appearing to be unhealthy, even if determined to still be alive, shall not be accepted. The landscape architect shall be the sole judge as to the acceptability of plant material.

11. All trees shall be standard in form, unless otherwise specified. Trees with central leaders will not be accepted if leader is damaged or removed. Prune all damaged twigs after planting.

12. All planting areas with less than a 4:1 gradient shall receive a layer of mulch. See note 5, sheet 4p - 3 for type. Submit samples of mulch to landscape architect for approval. The mulch shall be spread evenly throughout all planting areas except slopes 4:1 or steeper, unless otherwise denoted on the plan. The mulch shall be 1" deep within all tree and shrub watering basins. Absolutely no bare ground shall be showing. Provide samples of mulch for approval by the landscape architect prior to installation.

13. All planting areas on slopes over 4:1 shall receive coconut fiber erosion control netting from rolls. Netting shall be #c-125, as manufactured by north american green (or equal), install and stake per manufacturer's specifications.

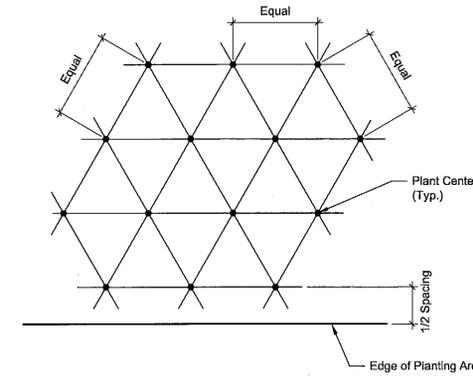
14. The contractor shall install root barriers near all newly-planted trees that are located within five (5) feet of paving or curbs. Root barriers shall be equivalent to "century" or "deep-root" 24" deep panels. Barriers shall be located immediately adjacent to hardscape and as per the root barrier detail on these plans. Install panels per manufacturer's recommendations. Under no circumstances shall the contractor use root barriers of a type that completely encircle the rootball.

15. The contractor shall maintain the project in a healthy and weed-free condition for a period of ninety (90) days.

16. The contractor shall guarantee all trees, shrubs, perennials, sod, and seeded areas for a period of one year. The contractor shall replace, at his own expense, any plants which die in that time. After the first 90 days maintenance period, the contractor shall only be responsible for replacement of plant materials when plant death cannot be attributed directly to overwatering or other damage by human actions.

### Disclaimer

The Landscape Architect has prepared these plans from base information provided to him through InterGroup Architects on 2/13/2009. The existence and location of any underground utility pipes, structures and wires shown on these plans were obtained from said base information, and no certification is made as to the accuracy or thoroughness of this information. Approval of this plan by the owner does not constitute a representation as to the accuracy of location or the existence or nonexistence of any underground utility pipe, wire or structure within the limits of this project. The contractor is responsible for taking all due precautionary measures to protect any existing utility lines not of record or not shown on the plans. Contractor shall familiarize himself with these plans for pertinent information relating to site construction.

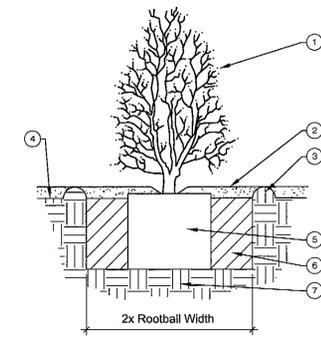


NOTE: All plants to be planted at equal triangular spacing (except where shown on plans as informal groupings). Refer to plant legend for spacing of plants.

## 3 TYPICAL PLANT SPACING

SCALE: NTS

- 1 Plant.
- 2 Mulch - Depth and Type per Plans and Specs. Do Not Mulch Within 3" of Trunk.
- 3 3" High Earthen Watering Basin.
- 4 Finish Grade.
- 5 Root Ball.
- 6 Backfill - Amend and Add Fertilizers Only as Recommended in Soil Fertility Analysis.
- 7 Undisturbed Native Soil.

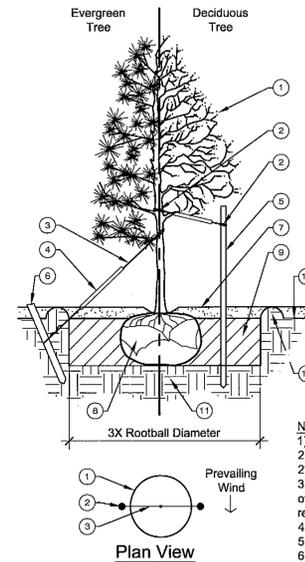


NOTES:  
1) Scarify sides of planting pit prior to setting plant.  
2) The rootball shall rest on undisturbed soil. The top of the rootball shall be 2" above finish grade.  
3) Plants with broken rootballs will be rejected.

## 2 SHRUB, PERENNIAL, AND ORNAMENTAL GRASS

SCALE: NTS

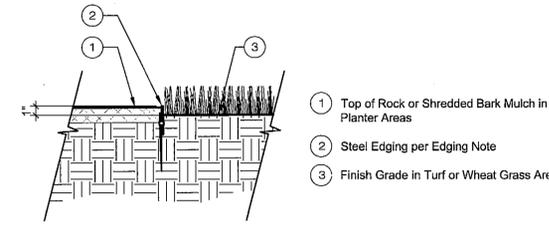
- 1 Tree Canopy.
- 2 Nylon Tree Straps at Ends of Wire. Secure Strap to Stake or Deadman with Nails.
- 3 12 Gauge Galvanized Wire. Secure to Trunk Just Above Lowest Major Branches.
- 4 24" x 3/4" P.V.C. Markers Over Wires.
- 5 Pressure-Treated Wood Stake, 2" Diameter. Extend Stakes 12" Min. Into Undisturbed Soil.
- 6 Pressure-Treated Wood Deadman, Two per Tree (Min.). Bury Outside of Planting Pit and 18" Min. Below Finish Grade.
- 7 Mulch - Depth and Type per Plans and Specs. Do Not Mulch Within 3" of Trunk.
- 8 Root Ball.
- 9 Backfill - Amend and Add Fertilizers Only as Recommended in Soil Fertility Analysis.
- 10 Finish Grade.
- 11 Undisturbed Native Soil.
- 12 4" High Earthen Watering Basin.



NOTES:  
1) Scarify sides of planting pit prior to setting tree.  
2) The rootball shall rest on undisturbed soil. The top of the rootball shall be 2"-4" above finish grade.  
3) Remove wire baskets from rootballs. Remove burlap and rope from top 1/2 of root ball when tree is set in planting hole. Trees with broken rootballs will be rejected.  
4) Remove all nursery stakes.  
5) Wrap trunk of deciduous trees to lowest major branch.  
6) For trees over 3" caliper, use three stakes (deciduous trees) or deadman (evergreen trees) spaced evenly around the tree.

## 1 EVERGREEN AND DECIDUOUS TREE

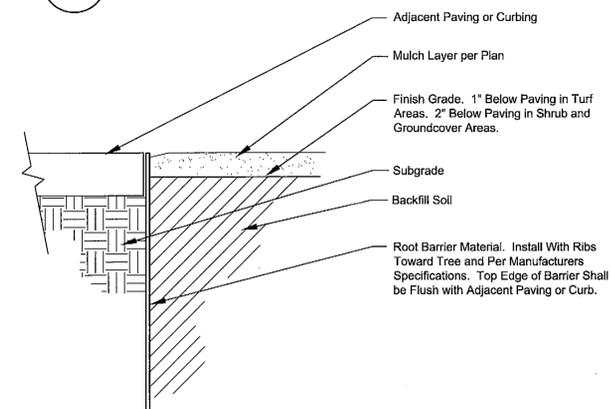
SCALE: NTS



## 4 STEEL EDGING

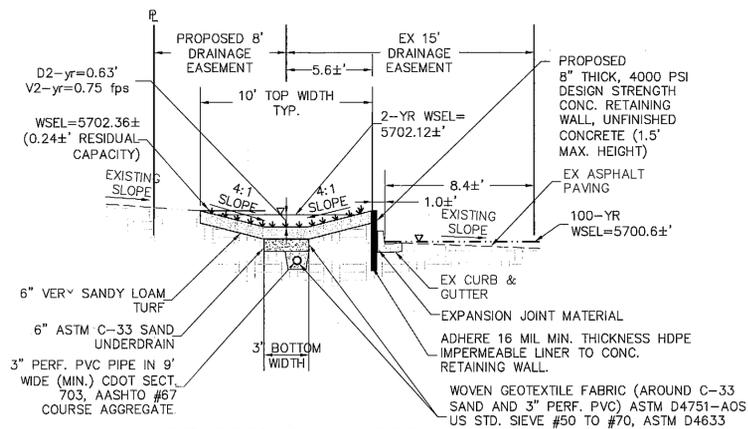
SCALE: NTS

- 1 Top of Rock or Shredded Bark Mulch in Planter Areas
- 2 Steel Edging per Edging Note
- 3 Finish Grade in Turf or Wheat Grass Area



## 5 ROOT BARRIER DETAIL

SCALE: NTS

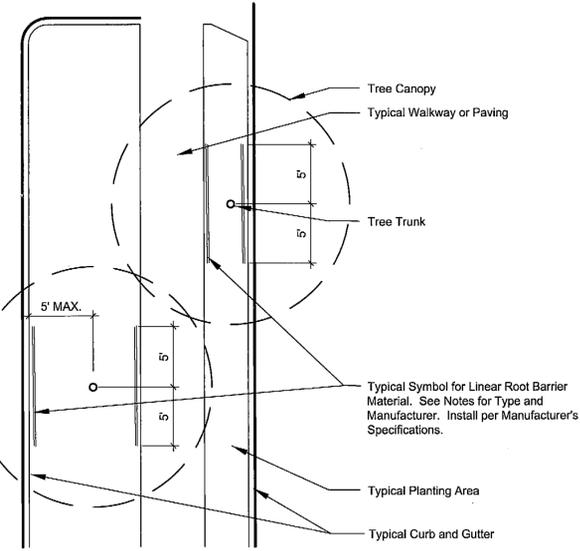


### TRAPEZOIDAL WATER QUALITY GRASS SWALE

- NOTES:
- 1) UNDERDRAIN ARRANGEMENT IS NECESSARY FOR TYPE C & D SOILS. NOT NEEDED FOR TYPE A & B SOILS.
  - 2) INFILTRATION TRENCH SHALL BE MINIMUM 9" WIDE BY 9" DEEP.
  - 3) GEOTEXTILE SHALL EXTEND 12" BEYOND TRENCH TOP WIDTH ON EACH SIDE. SEE USDCM FIGURE GS-1.
  - 4) SEE FINAL APPROVED LANDSCAPE PLAN FOR LANDSCAPE DESIGN.

## 8 GRASS SWALE

SCALE: NTS



## 6 ROOT BARRIER DETAIL

SCALE: NTS

CASE NO. P07-001

EXTERIOR FINISH SCHEDULE		
SYMBOL	DESCRIPTION	MANUF./COLOR
(A)	Storefront	Kawneer Hartford Green
(B)	Paint - Field	Benjamin Moore #HC-45, Shaker Beige
(C)	Paint - Accent	Benjamin Moore #HC-44, Lenox Tan
(D)	Paint - Accent	Benjamin Moore #HC-43, Tyler Taupe
(E)	Paint - Accent	Benjamin Moore Essex Green
(F)	Stone Veneer	Robinson Thin Veneer "Kiamichi"
(G)	Paint - Accent	Benjamin Moore #HC-125, Cushing Green

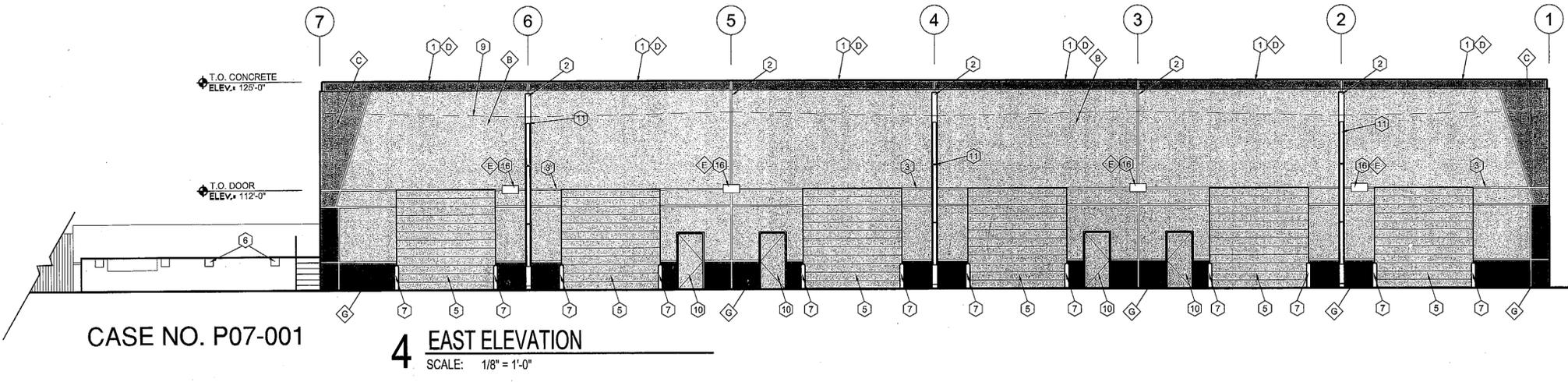
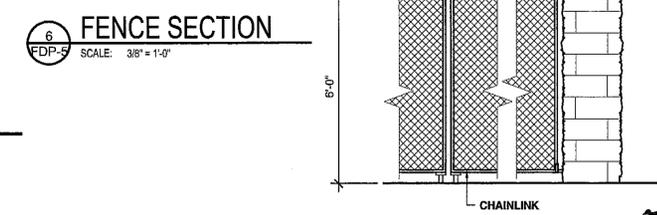
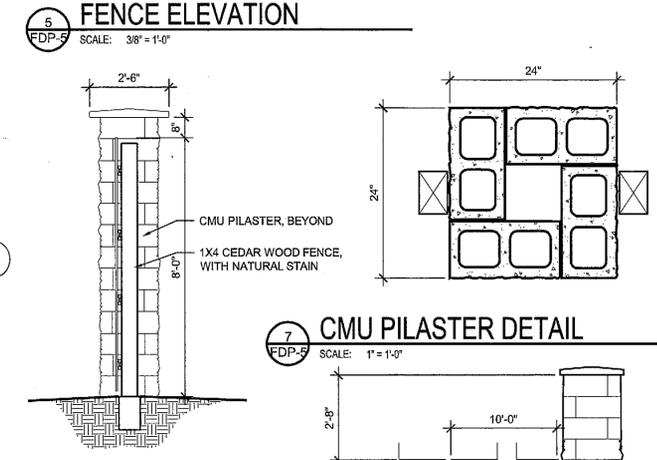
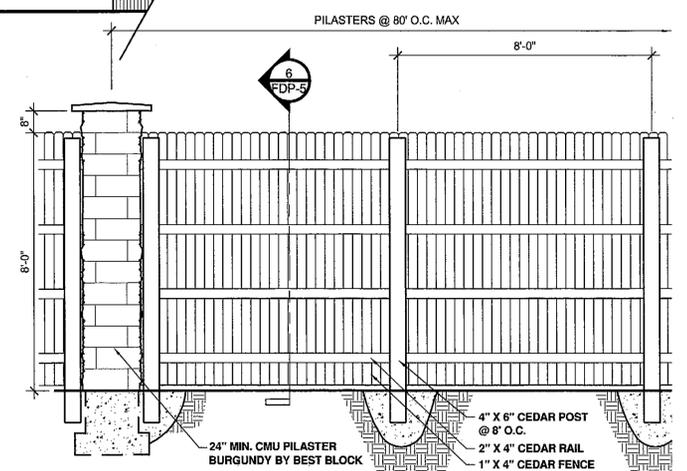
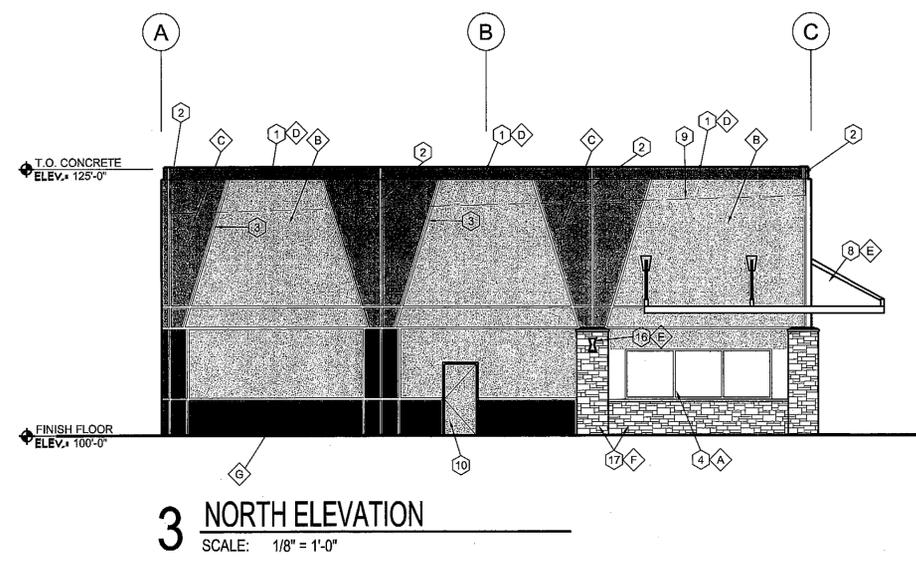
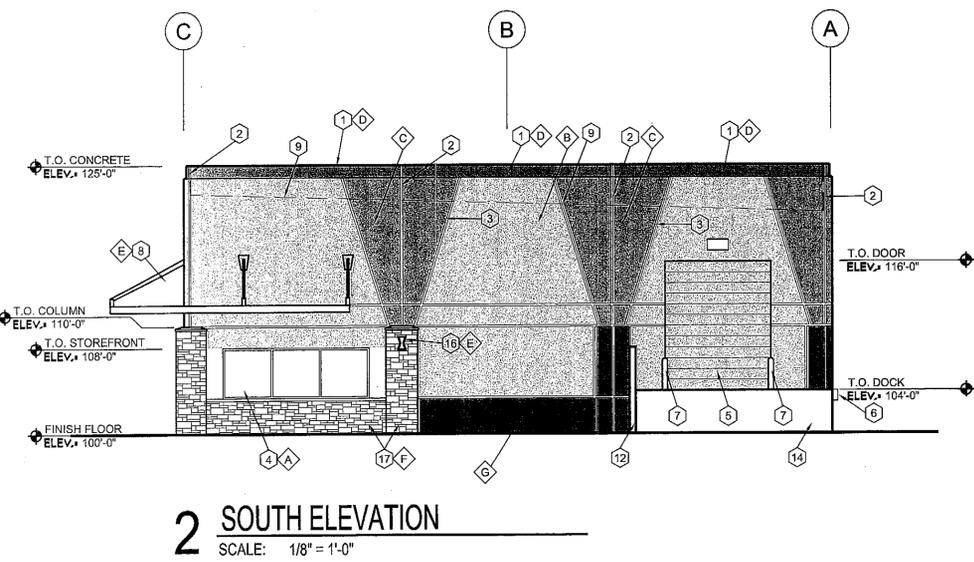
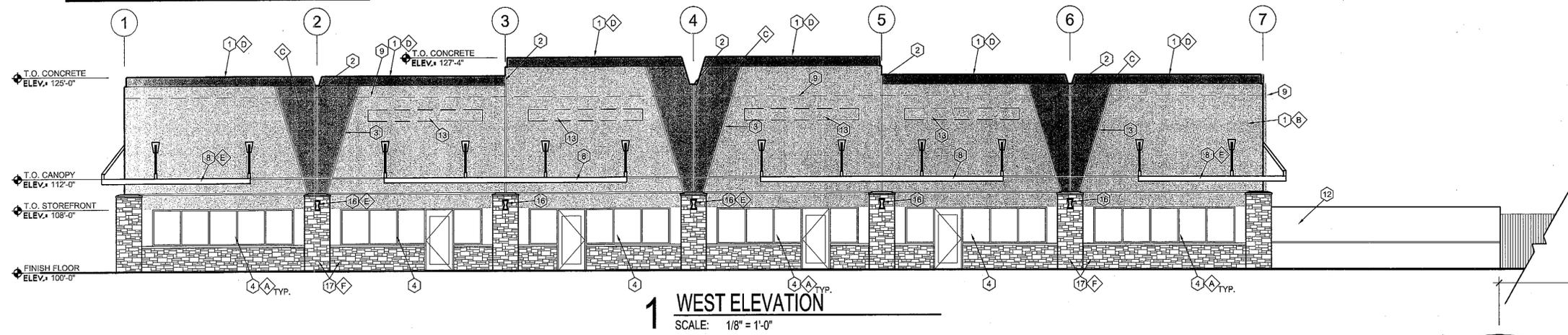
# CENTENNIAL LOT 16 LLC - FINAL DEVELOPMENT PLAN

LOT 16, BLOCK 3, CENTENNIAL EAST CORPORATE CENTER, FILING NO. 2  
 PART OF THE SW1/4 OF SECTION 30, TOWNSHIP 5S, RANGE 66W OF THE 6TH P.M.  
 ARAPAHOE COUNTY, STATE OF COLORADO

SHEET  
5 OF 6

### KEYNOTES:

- NOTE:  
 PAINT ALL DOORS, STAIRS, BOLLARDS AND MISC. METALS TO MATCH ADJACENT WALL PAINT COLOR.
- SITE CAST TILT-UP CONCRETE PANEL. PAINT PANEL WITH TEXTURED PAINT BY 'TEX-COTE'. SEE SCHEDULE FOR COLOR.
  - CONCRETE PANEL JOINT.
  - 2 1/4" CONCRETE REVEAL JOINT.
  - ANODIZED ALUMINUM FRAME W/ 1" INSULATED GLAZING.
  - OVERHEAD DOOR - PAINT TO MATCH ADJACENT WALL COLOR.
  - DOCK BUMPER.
  - CONCRETE FILLED PIPE BOLLARD.
  - METAL CANOPY, PAINTED TO MATCH STOREFRONT.
  - HOLLOW METAL MAN DOOR, PAINT TO MATCH CONCRETE PANELS.
  - DOWNSPOUT AND OVERFLOW SCUPPER.
  - LOADING DOCK SCREEN WALL.
  - FUTURE TENANT SIGNS - EACH SIGN IS 15' W X 18" H. CENTER AT 20' A.F.F.
  - 48" HIGH LOADING DOCK AREA. SEE SITE PLAN.
  - NOT USED.
  - SURFACE MOUNTED LIGHT FIXTURE @ 9'-0" A.F.F. UNDER CANOPIES, 12'-0" A.F.F. AT REAR OF BUILDING, & 18'-0" A.F.F. AT LOADING DOCK.
  - STONE VENEER - THIN VENEER BY ROBINSON BRICK, COLOR: KIAMICHI, WITH GRAY GROUT.



CASE NO. P07-001

KB-6800a

**INTERGROUP**  
 ARCHITECTURE  
 PLANNING - INTERIOR DESIGN

2000 WEST LITTLETON BOULEVARD  
 LITTLETON, COLORADO 80120  
 (303) 738-8877 FAX: (303) 738-2294

CENTENNIAL LOT 16 LLC

FINAL DEVELOPMENT PLAN  
 14155 EAST EASTER PLACE  
 CENTENNIAL EAST CORPORATE CENTER, FILING NO. 2  
 ARAPAHOE COUNTY, COLORADO

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2-20-09	FDP RESUBMIT.
8-26-09	FDP RESUBMIT.

FDP-5

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