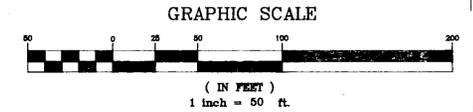
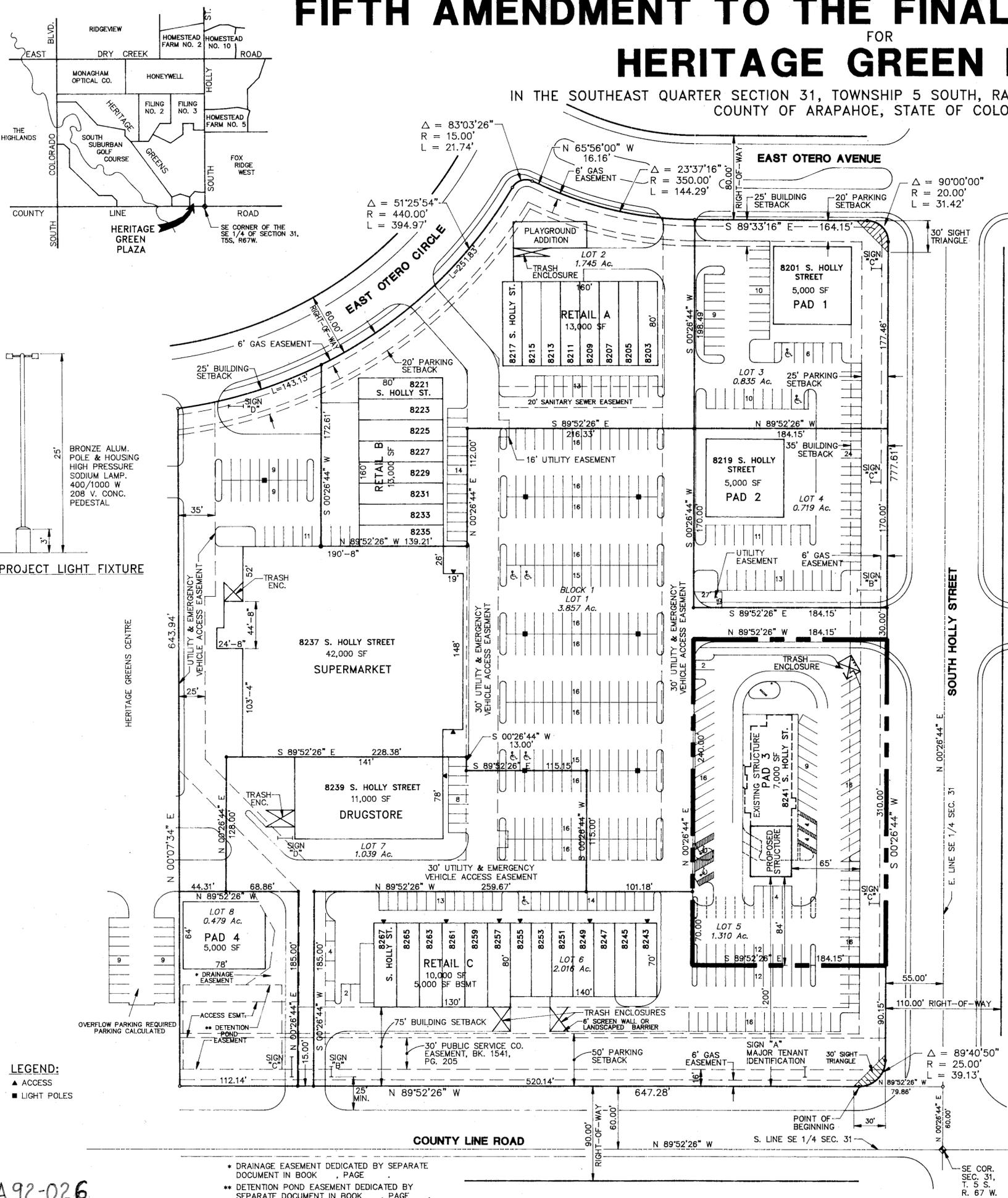


# FIFTH AMENDMENT TO THE FINAL DEVELOPMENT PLAN

## FOR HERITAGE GREEN PLAZA

IN THE SOUTHEAST QUARTER SECTION 31, TOWNSHIP 5 SOUTH, RANGE 67 WEST, OF THE 6th P.M. COUNTY OF ARAPAHOE, STATE OF COLORADO



**DEVELOPMENT PLAN REGULATIONS**

1. ZONING IS M.U.-P.U.D., COMMUNITY BUSINESS, PRINCIPAL USES SHALL BE AS FOLLOWS: GENERAL OFFICE; PUBLIC/PRIVATE MEETING HALL; NURSERY SCHOOL; DAY CARE CENTER; RETAIL USES; APPLIANCE STORE; AUTO SALES AND REPAIR; AUTOMOBILE PARKING LOT; AUTO SERVICE STATION; LIQUOR PARLOR; POOL HALL; BOWLING ALLEY; TENNIS CLUB; SKATING RINK; HEALTH CLUB; CONVENIENCE STORE; DEPARTMENT STORE; BEAUTY SALON/BARBER SHOP; DRY GOODS STORE; FURNITURE STORE; NIGHT CLUB/TAVERN; SPECIAL TRADE CONTRACTORS; RESTAURANT INCLUDING DRIVE-THRU (FAST FOODS); AND HOTEL/MOTELS. SPECIAL EXCLUDED USES SHALL BE AS FOLLOWS: A) NO OUTDOOR STORAGE AND/OR DISPLAY, B) TRUCK AND/OR VEHICLE RENTAL SHALL BE ALLOWED IF SAID TRUCKS AND/OR VEHICLES ARE FROM WITHIN THE BUILDING.

2. MAXIMUM BUILDING HEIGHT = 30'-0", MAXIMUM STORIES = 2.

	PDP APPROVED 10/10/78	FDP THIS AMENDMENT
3. MINIMUM SETBACKS:		
A. BUILDING SETBACKS:		
COUNTY LINE ROAD	= 75'	75'
HOLLY STREET	= 35'	35'
INTERIOR STREETS	= 25'	25'
INTERNAL PROPERTY LINES BETWEEN STRUCTURES	= 0'	0'
	= 20'	20'
B. PARKING SETBACKS:		
COUNTY LINE ROAD	= 50'	50'
HOLLY STREET	= 25'	25'
INTERIOR STREETS	= 20'	20'
INTERNAL PROPERTY LINES	= 0'	0'

4. MAXIMUM GROSS LEASABLE AREA	= 140,000 SF	126,000 SF
MINIMUM UNOBSTRUCTED OPEN SPACE	= 22.5%	28.4%
MAXIMUM PARKING AREA	= 55.0%	47.5%
MINIMUM PARKING RATIO	= 4.5 SPACES / 1000 G.L.A.	

5. PERMITTED/ACTUAL USE FOR LOT 5

- COMMERCIAL RESTAURANT
- COMMERCIAL SITE - INCLUDING RETAIL SHOPPING, PROFESSIONAL OFFICING, AND FINANCIAL INSTITUTIONS, SERVICE STATION, RESTAURANTS, ETC.

**SITE DEVELOPMENT DATA**

GROSS SITE AREA = 522,720 SF = 12.0 ACRES - LOTS 1, 2, 3, 4, 5, 6, 7, 8

BUILDING GROUND COVERAGE:	SITE AREA:	COVERAGE:
RETAIL A = 13,000 SF		
RETAIL B = 13,000 SF		
RETAIL C = 25,000 SF		
SUPERMARKET = 42,000 SF		
DRUGSTORE = 11,000 SF		
PAD 1 = 5,000 SF		
PAD 2 = 5,000 SF		
PAD 3 = 7,000 SF		
PAD 4 = 5,000 SF		
<b>TOTAL GROSS SF = 126,000 SF</b>	<b>522,720 SF</b>	<b>24.1%</b>

**PARKING:**

TOTAL NUMBER OF SPACES = 507  
 GROSS ASPHALT AREA (PARKING AND SERVICE) = 248,292 SF = 5.70 ACRES = 47.5%  
 LANDSCAPE AND OPEN SPACE = 148,220 = 3.40 ACRES = 28.4%  
 EXISTING ZONING: ARAPAHOE COUNTY M.U., P.U.D., B-3

**GENERAL NOTES**

- SEE SUPPLEMENTAL LANDSCAPE PLAN, DETAILS, ELEVATIONS, SIGNAGE.
- SEE SUPPLEMENTAL SITE GRADING AND DRAINAGE PLAN BY ENGINEERING SERVICES COMPANY.
- ALL MECHANICAL EQUIPMENT IS ROOFTOP MOUNTED WITH A 4'-0" PRIVACY SCREEN.
- ALL PARKING SPACES ARE 9'-0" x 19'-0" EXCEPT AS NOTED ON PLAN. ALL HANDICAP SPACES ARE 12'-0" x 19'-0" AND COMPACT SPACES ARE 8'-6" x 16'-0".
- THE OWNERS OF PRIVATE PROPERTY CONTAINING A TRAFFIC SIGHT TRIANGLE ARE PROHIBITED FROM ERECTING OR GROWING ANY OBSTRUCTIONS OVER THREE FEET IN HEIGHT ABOVE THE ELEVATION OF THE LOWEST POINT ON THE CROWN OF THE ADJACENT ROADWAY WITHIN SAID TRIANGLES.
- THIS FIFTH AMENDMENT TO FINAL DEVELOPMENT PLAN, MODIFIES AND PERTAINS ONLY TO PAD 3, AS INDICATED BY THE BOLD PROPERTY LINE SHOWN TO THE LEFT.

**AMENDMENT HISTORY**

- THE ORIGINAL FINAL DEVELOPMENT PLAN WAS APPROVED ON JANUARY 24, 1983, CASE PB2-06.
- THE FIRST AMENDMENT TO THE FINAL DEVELOPMENT PLAN WAS APPROVED ON JUNE 27, 1983, CASE A83-22: CHANGED BUILDING ENVELOPE FOR MCDONALD'S RESTAURANT.
- THE SECOND AMENDMENT TO THE FINAL DEVELOPMENT PLAN WAS APPROVED ON OCTOBER 11, 1983, CASE A-83-37; CHANGED TO MORE CLEARLY DEFINE AREAS ON BUILDING C AS PERMITTED SIGNAGE AREAS, ADDED SIX NEW PARKING SPACES AT THE SOUTHWEST CORNER OF BUILDING C AND TO ALLOW THE ADDITION OF A NEW GLASS STORE FRONT ALONG PORTIONS OF THE LOWER LEVEL ELEVATION OF BUILDING C. THE SECOND AMENDMENT ADDED THE FOLLOWING STIPULATIONS AND/OR CONDITIONS:  
 1. NO OUTDOOR STORAGE AND/OR DISPLAY SHOULD BE ALLOWED WITHIN THIS DEVELOPMENT.  
 2. TRUCK AND/OR VEHICLE RENTAL SHALL BE ALLOWED IF SAID TRUCKS AND/OR VEHICLES ARE FROM WITHIN THE BUILDING.
- THE THIRD AMENDMENT TO THE FINAL DEVELOPMENT PLAN FOR HERITAGE GREENS PLAZA SETS FORTH THE FOLLOWING CHANGES DESCRIBED:  
 ADD AN ADDITIONAL BUILDING PAD NOT TO EXCEED 5000 SQUARE FEET, REVISE DETENTION POND FACILITIES, ADD FOUR ADDITIONAL PARALLEL PARKING SPACES ALONG AN INTERNAL DRIVEWAY AND ADD A NEW CENTER SIGN AT THE MAIN HOLLY STREET ENTRANCE.
- THE FOURTH AMENDMENT TO THE FINAL DEVELOPMENT PLAN WAS APPROVED ON AUGUST 13, 1990, ADDS A PLAYGROUND AREA AT THE NORTH END OF SITE FOR PRESCHOOL USE.
- THIS FIFTH AMENDMENT ADDS A 1940 SQ. FT. ENCLOSED PLAYLAND TO THE SOUTH END OF MCDONALD'S RESTAURANT (PAD 3). IN ADDITION, THIS AMENDMENT ADDS A SIGN TO BE LOCATED ON THE ENCLOSED PLAYLAND STRUCTURE. PARKING ON LOT 5 HAS BEEN REARRANGED TO ACCOMMODATE THE ADDITION. PARKING HAS BEEN REDUCED BY 10 STALLS.

**LEGAL DESCRIPTION**

A PART OF THE SOUTHEAST QUARTER OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ARAPAHOE COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 31; THENCE N00°26'44"E ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 31 A DISTANCE OF 60.00 FEET; THENCE N89°52'26"W A DISTANCE OF 40.00 FEET TO THE INTERSECTION OF THE WEST LINE OF SOUTH HOLLY STREET AND THE NORTH LINE OF COUNTY LINE ROAD; THENCE N89°52'26"W ALONG SAID NORTH LINE OF COUNTY LINE ROAD A DISTANCE OF 39.86 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING N89°52'26"W ALONG SAID NORTH LINE A DISTANCE OF 647.28 FEET; THENCE N00°07'34"E A DISTANCE OF 643.94 FEET TO A NON-TANGENT POINT ON A CURVE; THENCE ALONG SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 51°25'54", A RADIUS OF 440.00 FEET, A CHORD WHICH BEARS N56°43'31"E, 381.84 FEET, AND AN ARC DISTANCE OF 394.97 FEET TO A POINT OF REVERSE CURVATURE; THENCE ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 83°03'26", A RADIUS OF 15.00 FEET AND AN ARC DISTANCE OF 21.74 FEET TO A POINT OF TANGENCY; THENCE S85°50'00"E A DISTANCE OF 16.16 FEET TO A POINT OF CURVATURE; THENCE ON A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 23°37'16", A RADIUS OF 350.00 FEET AND AN ARC DISTANCE OF 144.29 FEET TO A POINT OF TANGENCY; THENCE S89°33'16"E AND AN ARC DISTANCE OF 164.15 FEET TO A POINT OF CURVATURE; THENCE ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 20.00 FEET AND AN ARC DISTANCE OF 31.42 FEET TO A POINT OF TANGENCY; THENCE S00°26'44"W PARALLEL AND 15.00 FEET WEST OF SAID WEST LINE OF SOUTH HOLLY STREET A DISTANCE OF 777.61 FEET TO A POINT OF CURVATURE; THENCE ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 89°40'50", A RADIUS OF 25.00 FEET, AND AN ARC DISTANCE OF 39.13 FEET TO A POINT OF TANGENCY, SAID POINT ALSO BEING THE POINT OF BEGINNING, CONTAINING 12,000 ACRES (522,720 SF) MORE OR LESS.

**GENERAL NOTES**

THE OWNER(S), DEVELOPER(S), AND/OR SUBDIVIDER(S) OF THE FINAL DEVELOPMENT PLAN KNOWN AS HERITAGE GREENS PLAZA, ADMINISTRATIVE AMENDMENT NO. 3, AND THEIR RESPECTIVE SUCCESSORS, HEIRS, AND/OR ASSIGNS AGREE TO FOLLOWING NOTES:

- DRAINAGE MAINTENANCE**  
TO BE RESPONSIBLE FOR MAINTENANCE OF ALL DETENTION/RETENTION FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENT. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO MAINTAINING THE SPECIFIED STORM WATER DETENTION/RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASINS. ARAPAHOE COUNTY SHALL HAVE THE RIGHT TO ENTER THE PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME. IF, AS AUTHORIZED BY DRAINAGE EASEMENTS CONVEYED WITH THE PLAT, THESE FACILITIES ARE NOT PROPERLY MAINTAINED, THE COUNTY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.
- LANDSCAPE MAINTENANCE**  
THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING, LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE FENCE LINE/PROPERTY LINE AND ANY PAVED ROADWAYS. THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, OR SOME OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.
- DRAINAGE LIABILITY**  
IT IS THE POLICY OF ARAPAHOE COUNTY THAT IT DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE DRAINAGE FACILITIES DESIGNED AND/OR CERTIFIED BY ENGINEERING SERVICES COMPANY. ARAPAHOE COUNTY REVIEWS DRAINAGE PLANS PURSUANT TO COLORADO REVISED STATUTES, TITLE 30, ARTICLE 28, BUT CANNOT, ON BEHALF OF HERITAGE GREENS ASSOCIATES GUARANTEE THAT FINAL DRAINAGE DESIGN REVIEW WILL ABSOLVE HERITAGE GREENS ASSOCIATES AND/OR THEIR SUCCESSORS AND/OR ASSIGNS OF FUTURE LIABILITY FOR IMPROPER DESIGN. IT IS THE POLICY OF ARAPAHOE COUNTY THAT APPROVAL OF THE FINAL PLAT AND/OR FINAL DEVELOPMENT PLAN DOES NOT IMPLY APPROVAL OF ENGINEERING SERVICES COMPANY'S DRAINAGE DESIGN.
- SIGHT TRIANGLE MAINTENANCE**  
THE OWNERS OF PRIVATE PROPERTY CONTAINING A TRAFFIC SIGHT TRIANGLE ARE PROHIBITED FROM ERECTING OR GROWING ANY OBSTRUCTIONS OVER THREE FEET IN HEIGHT ABOVE THE ELEVATION OF THE LOWEST POINT ON THE CROWN OF THE ADJACENT ROADWAY WITHIN SAID TRIANGLES.
- SWELLING SOILS NOTE**  
THIS PARCEL IS IN AN AREA OF HIGH SWELL POTENTIAL EXPANSIVE SOILS TYPICAL TO THIS REGION. ALL STRUCTURES FOR HUMAN OCCUPANCY WILL BE DESIGNED BY QUALIFIED PROFESSIONALS TO REFLECT THESE CONDITIONS, AS REQUIRED BY THE COUNTY BUILDING DEPARTMENT.
- EMERGENCY ACCESS NOTE**  
EMERGENCY ACCESS IS GRANTED HERETH OVER AND ACROSS ALL PAVED AREAS FOR POLICE, FIRE AND EMERGENCY VEHICLES.
- PRIVATE STREETS AND UTILITY EASEMENTS MAINTENANCE**  
THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS, AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AND ALL DRIVES, PARKING AREAS, AND EASEMENTS i.e. CROSS ACCESS EASEMENTS, DRAINAGE EASEMENTS, ETC.

**OWNERS SIGNATURE**

WE, McDonald's BEING THE OWNERS OF PAD 3, HEREBY ACKNOWLEDGE THIS 5th AMENDMENT TO THE HERITAGE GREEN PLAZA FINAL DEVELOPMENT PLAN. THIS 11 DAY OF March A.D. 1993.

SIGNED: Steve Gajda

**BOARD OF COUNTY COMMISSIONERS APPROVAL**

THIS FINAL DEVELOPMENT PLAN APPROVED BY THE ARAPAHOE BOARD OF COUNTY COMMISSIONERS THIS 15th DAY OF DECEMBER A.D. 1994.

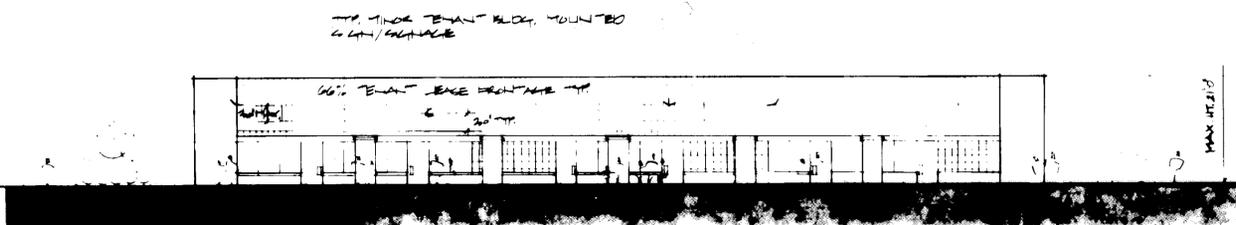
CHAIRMAN: Thomas Regent  
 ATTEST: Monique Boyd

**WILLIAM E. PAYNE & ASSOCIATES**  
 Consulting Engineers  
 12150 E. BRIARWOOD AVE., SUITE 120  
 ENGLEWOOD, COLORADO 80112  
 (303) 790-9019

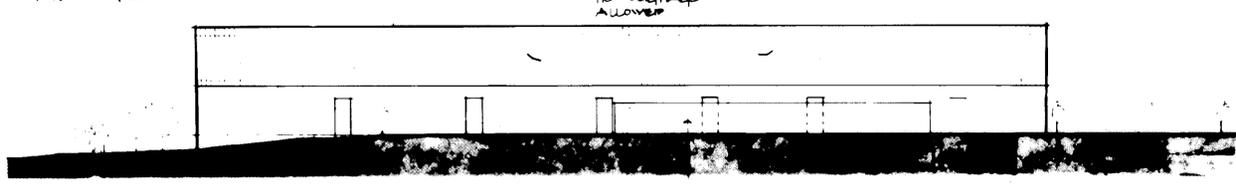
**LEGEND:**

- ▲ ACCESS
- LIGHT POLES

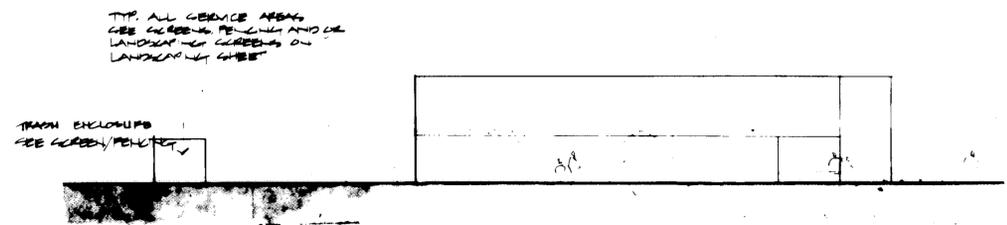
A92-026



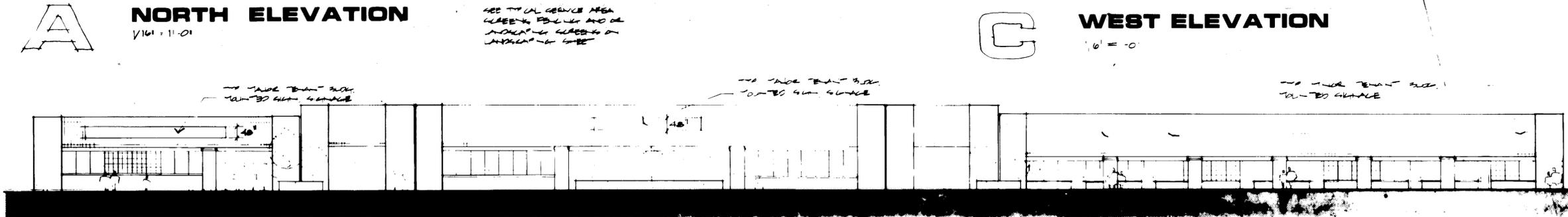
**A SOUTH ELEVATION**  
1/16" = 1'-0"



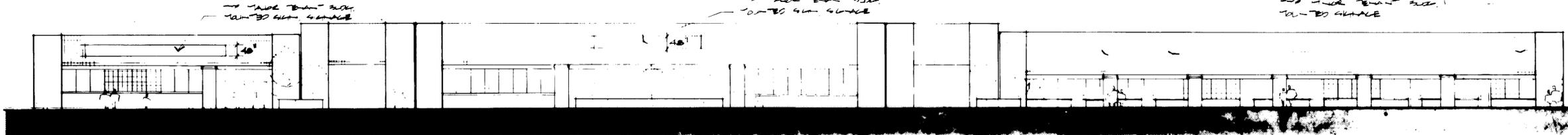
**A NORTH ELEVATION**  
1/16" = 1'-0"



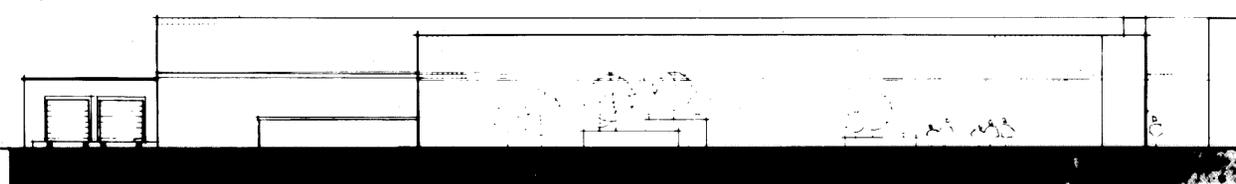
**SIDE ELEVATION (TYP.)**  
1/16" = 1'-0"



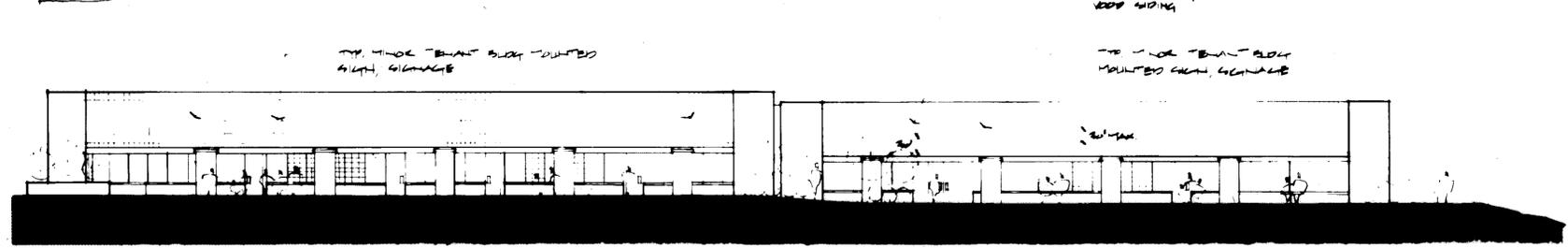
**C WEST ELEVATION**  
1/16" = 1'-0"



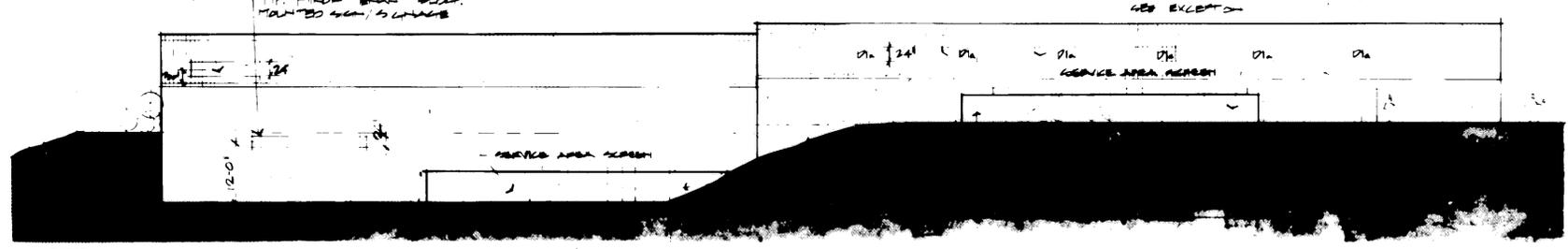
**B EAST ELEVATION**  
1/16" = 1'-0"



**B SOUTH ELEVATION**  
1/16" = 1'-0"



**C NORTH ELEVATION**  
1/16" = 1'-0"



**C SOUTH ELEVATION**  
1/16" = 1'-0"

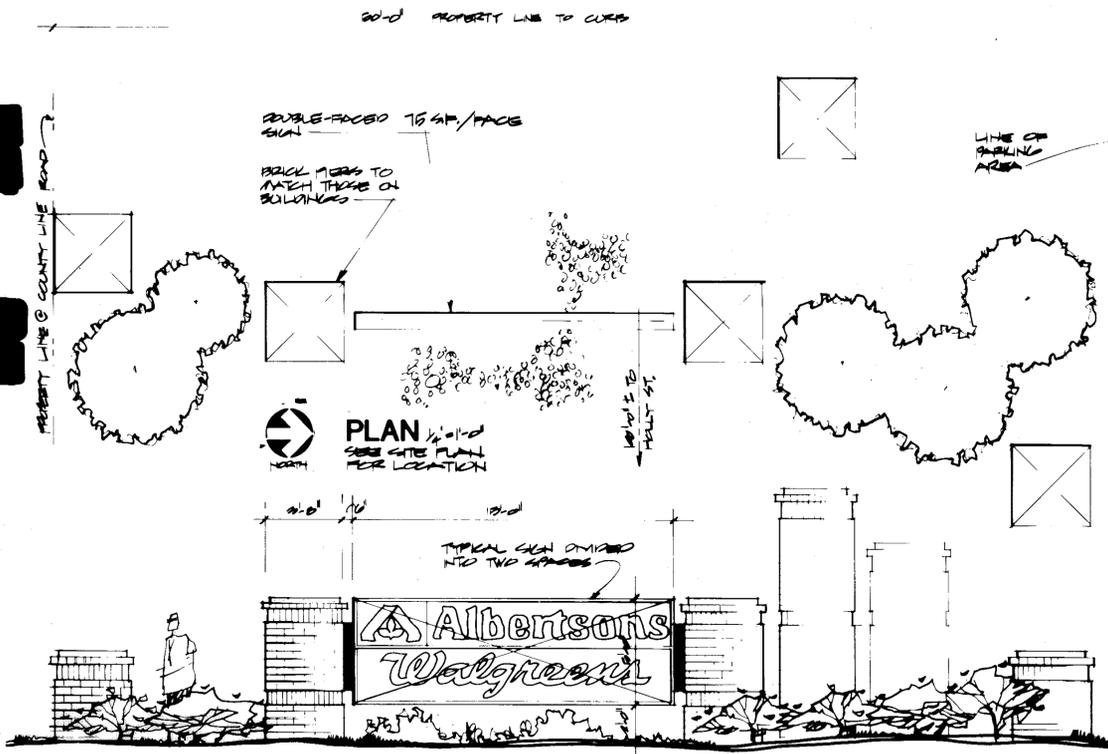
**GENERAL DESIGN CRITERIA :**

**OVERALL:**  
Major overall appearance shall be one of residential scale, materials, with major landscaped visual considerations/buffers to adjacent sites to the west and north.  
The scale of elements shall be consistent with each other and with human scale. None will be monumental, and all shall conform to the area stipulations.  
The palette of materials shall consist of brick, wood and stucco as major visual elements of the structures.  
The color palette shall be muted earth tones throughout with the principle elements of brick and wood being used in either natural condition or, in the case of wood, being stained or painted to conform with the earth tone palette. The only exceptions shall be accent areas of either signage or graphics identifying the various shops and areas, or to implement adequate circulation and convey appropriate information to the user.  
The design motifs and structural shapes shall be as presented in the architectural character studies for the various areas. Changes and variations in shapes consistent with the use intended shall be allowed, but architectural integrity shall be maintained throughout.  
The project shall be designed in accordance with the appropriate version of the Uniform Building Code as modified by Arapahoe County. The buildings and arrangements of building, as well as pertinent structures, shall conform to the requirements of the Arapahoe County Building Department, and the various county review agencies, including fire protection.

**SECONDARY:**  
Specific overall appearance shall be limited to selections of colors and materials for continuity. Major materials to be Brick, masonry, natural stained woods in lapped, channeled, or batten detail, majority of storefront glazing in small millioned pattern. Scale and details to provide small intimate human dimensions for a village/heritage design theme throughout. Majority of landscaping to be coniferous for visual/visible continuity through seasons, with consideration for types, varieties in water requirements, maintenance.

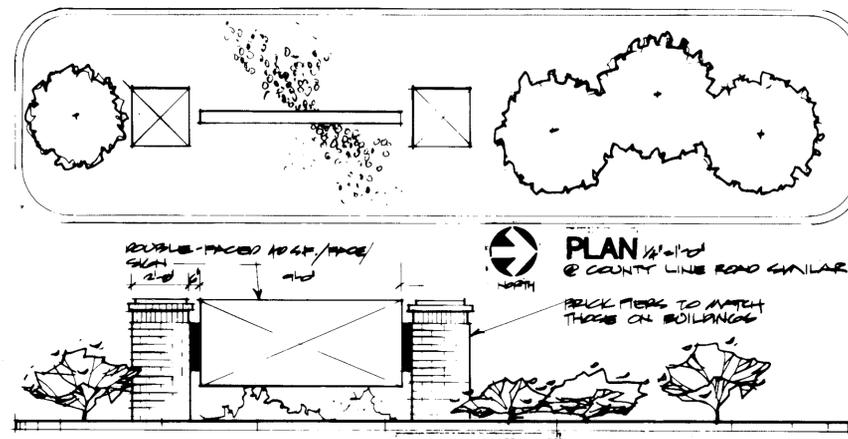
All mechanical roof top units/equipment, shall be screened to 2'-0" above highest part on all sides. Material to be consistent with overall materials/design.

*YRE  
WIP*



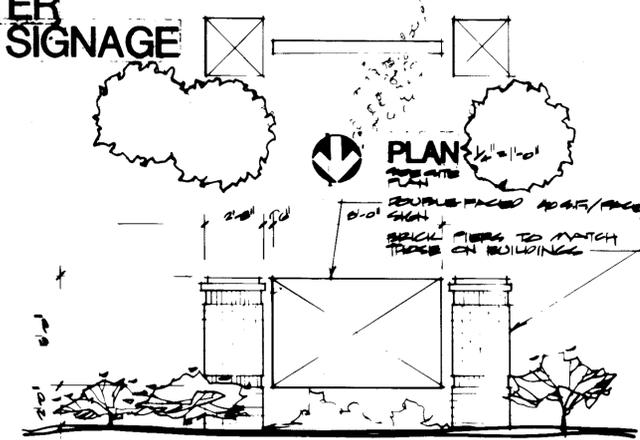
**MAJOR TENANT IDENTIFICATION SIGNAGE (1 REQUIRED)**

**SIGN "A" ELEVATION**



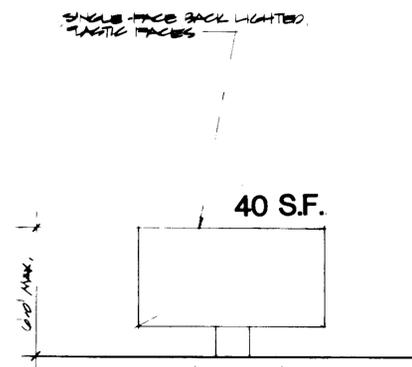
**SHOPPING CENTER IDENTIFICATION SIGNAGE (1 REQUIRED)**

**SIGN "B" ELEVATION**



**BUILDING PADS 1,2,&3 IDENTIFICATION SIGNAGE (3 REQUIRED)**

**SIGN "C" ELEVATION**



**PAD 1 ELEVATIONS**

**BUILDING PADS 1,2,&3 INFORMATIONAL/DIRECTIONAL SIGNAGE (1 REQUIRED)**

**Heritage Green Plaza - Signs/Signage**

**OVERALL/GENERAL SIGN CRITERIA**

**Ground Signs/Signage**

**Ground Signs/Signage**

- Shopping Center Identification Sign:** (Sign B on attached site plan as located, See Elevations).
  - A. Shall be unlighted, maximum of 40 SF, per face, double face, maximum height of 5'-0", with brick masonry to match buildings at supports and/or planter walls.
- Major Tenant Identification Sign:** (Sign A on attached site plan as located, one required) See Elevations.
  - A. Shall be plastic faced, back lighted, maximum of 75 SF, per face, double faced, maximum height of 7'-0", shared by no more than two (2) major tenants, with brick masonry to match buildings at supports and/or planter walls, piers. All plastic colors, light emissions as approved by developer and Celebrity Development Corporation.
- Pads 1, 2, 3 Identification Signs:** (Sign C on attached site plan as located) See Elevations.
  - A. Shall be plastic faced, back lighted, maximum of 40 SF, per face, double faced, maximum height of 7'-0", with brick masonry to match buildings at supports and/or planter walls. All plastic colors, light emission, as approved by developer and Celebrity Development Corporation.
- Informational/Directional Signs:** (Sign D on attached site plan as located) See Elevations.
  - A. Informational sign at pad 3, one (1) required/pad shall be single face, back lighted, plastic faces, maximum 40 SF, maximum height 6'-0", all plastic colors, light emission as approved by developer and Celebrity Development Corporation.
  - B. Directional signs at service entries, two (2) required shall be single face, unlighted, metal with painted lettering "Service Only". Maximum 10 SF, maximum height 5'-0".

**Building Mounted Signs/Signage**

**General/Overall Criteria:**

- All sign lettering shall be limited to individually mounted lettering and/or logos, 5" in depth, mounted to buildings, plastic faced with color as selected/approved by developer.
- All sign lettering shall be internally illuminated, with no blinking, flashing or animated lettering/logos. All sign lettering, parking lot lighting and signage shall be controlled by time clocks which will automatically shut off lighting at 11:00 P.M., except for that lighting required for security and exempt for those limited uses which may operate beyond 11:00 P.M.
- All sign lettering shall be compatible with design character of center.

**Major Tenants (10,000 SF or more)**

Shall be single faced, with signs/logo envelopes with a maximum height of 48", maximum length not to exceed 50'-0", not to exceed 152 square feet. Sign/logo colors and design style shall be subject to approval of developer and Celebrity Development Corporation. No signage shall be allowed on any building face excepting front.

**Minor Tenants (Less than 10,000 SF)**

- Shall be single faced, with signs/logos envelopes with a maximum height of 30", maximum length not to exceed 66% of lease store frontage. All individual letters mounted with center line 30" from bottom of building fascia/canopy line. Sign/logos colors and design/style shall be subject to approval of developer and Celebrity Development Corporation.
- No signage shall be allowed on any building face excepting frontage of lease with the following exceptions:
  - A. Tenants Building C have one (1) additional sign facing south to County Line, not to exceed 20 SF, maximum height 24", maximum length not to exceed 33% of lease store frontage.
  - B. Tenant east end of building A may have one (1) additional sign facing east to Holly Street. This sign shall conform to all other criteria of individual letters and be subject to the approval of the developer, Celebrity Development, and Arapahoe County.

**Pad 1,2,&3 Tenants**

- Shall be single faced, with signs/logos envelope not to exceed total of 80 SF with no one sign exceeding 40 SF, maximum height logos 48", maximum height letters 30". All signs to be located below top of roof line. Colors and design/style shall be subject to approval of developer and Celebrity Development Corporation.

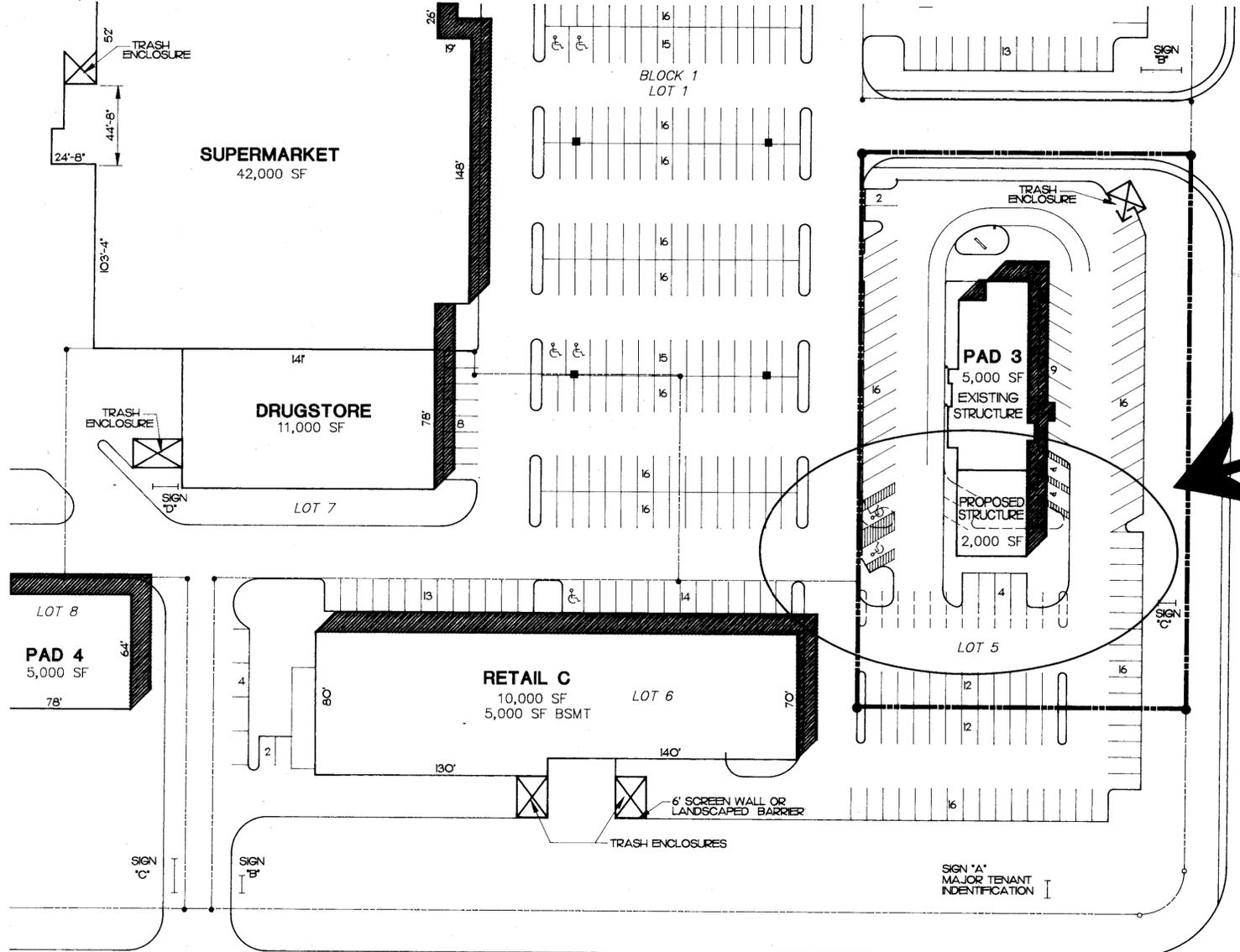
*Handwritten initials/signature*

HERITAGE GREEN PLAZA  
SIGNAGE CRITERIA







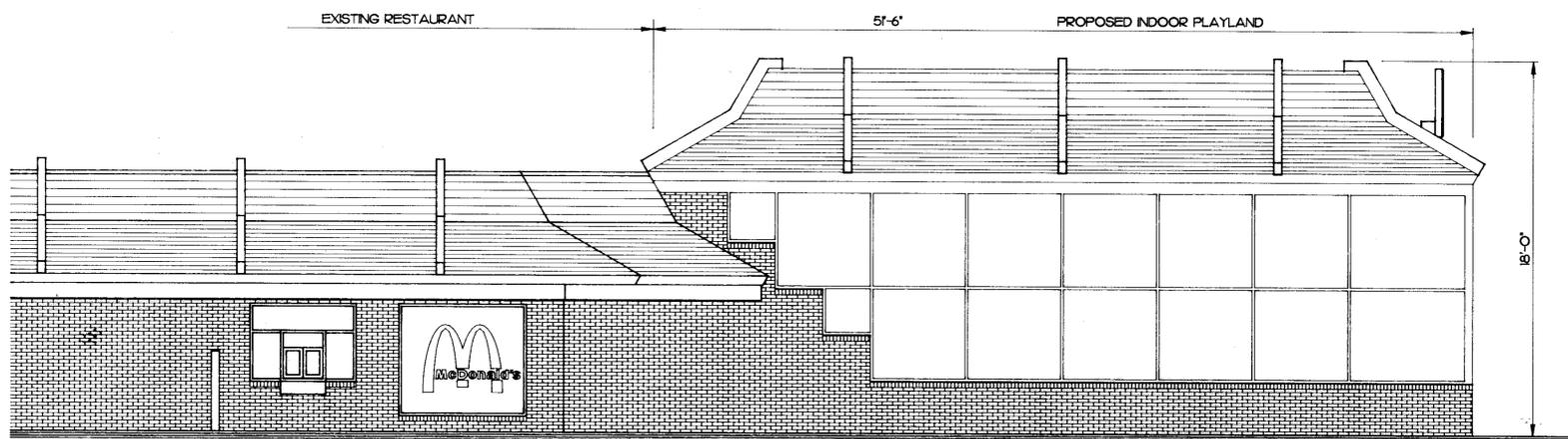


COUNTY LINE ROAD

SOUTH HOLLY STREET

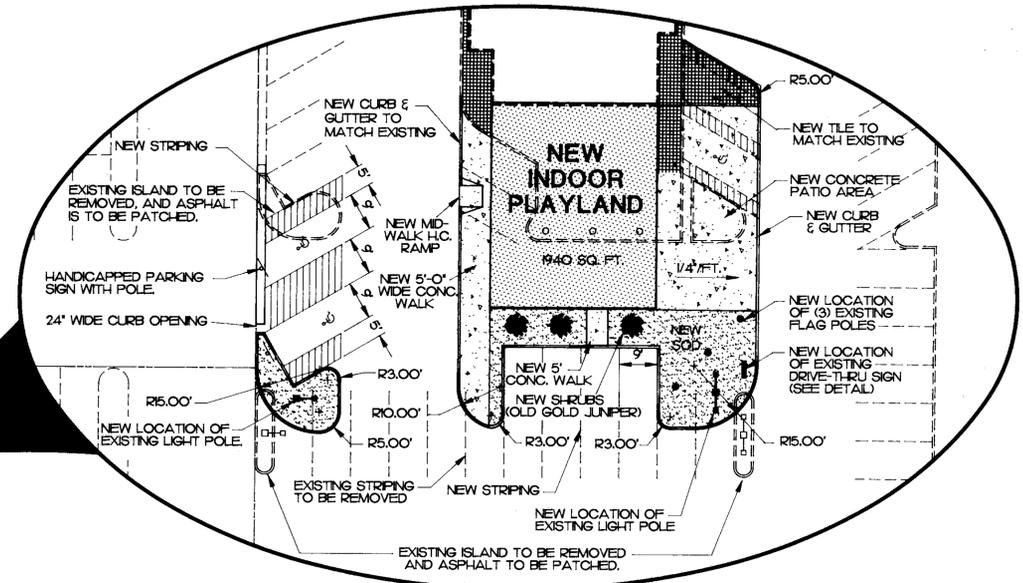


**PARTIAL SITE PLAN**



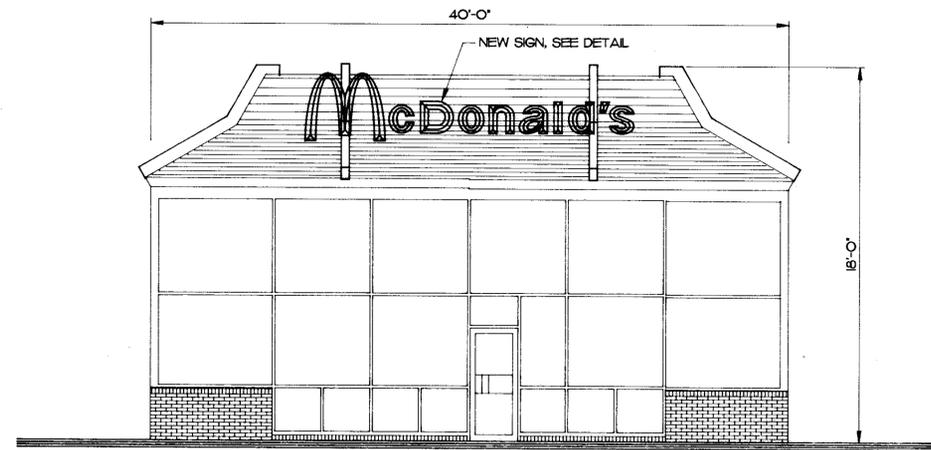
**WEST ELEVATION**

SCALE: 3/16" = 1'-0"



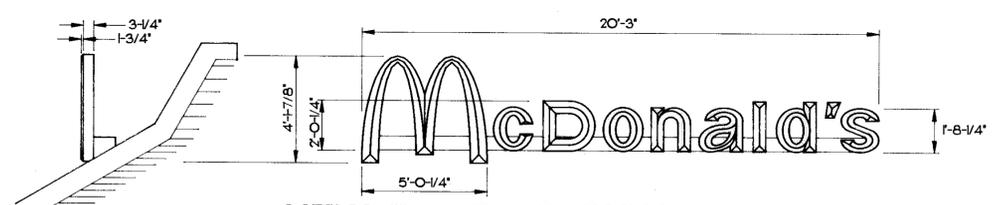
**INDOOR PLAYLAND ADDITION**

SCALE: 1" = 20"

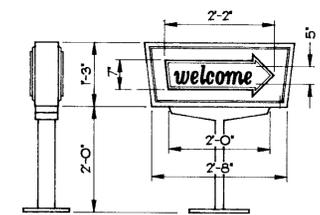


**SOUTH ELEVATION**

SCALE: 3/16" = 1'-0"



**NEW BUILDING SIGN**



**EXISTING SIGN TO BE RELOCATED**

**LANDSCAPING LEGEND.**

- OLD GOLD JUNIPER APPROX. 3
- SOD - BLUEGRASS APPROX. 925 SQ FT

THIS DOCUMENT WAS PREPARED BY:  
**WILLIAM E. PAYNE & ASSOCIATES**  
 Consulting Engineers  
 12150 E. BRIARWOOD AVE., SUITE 120  
 ENGLEWOOD, COLORADO 80112  
 (303) 790-9019

BUILDING ELEVATIONS PROVIDED BY:  
**R Keith Carney**  
 Architect  
 8506 E. Costilla Place  
 Englewood, Colorado 80112  
 (303) 779-5136

A92-026

**HERITAGE GREEN PLAZA**  
 INDOOR PLAYLAND ADDITION  
**FINAL DEVELOPMENT PLAN**