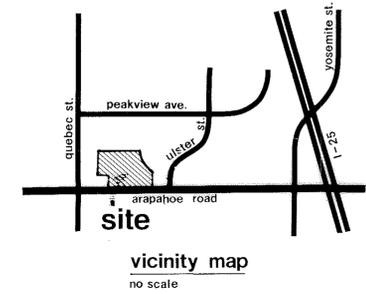
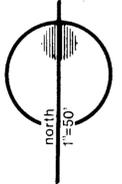
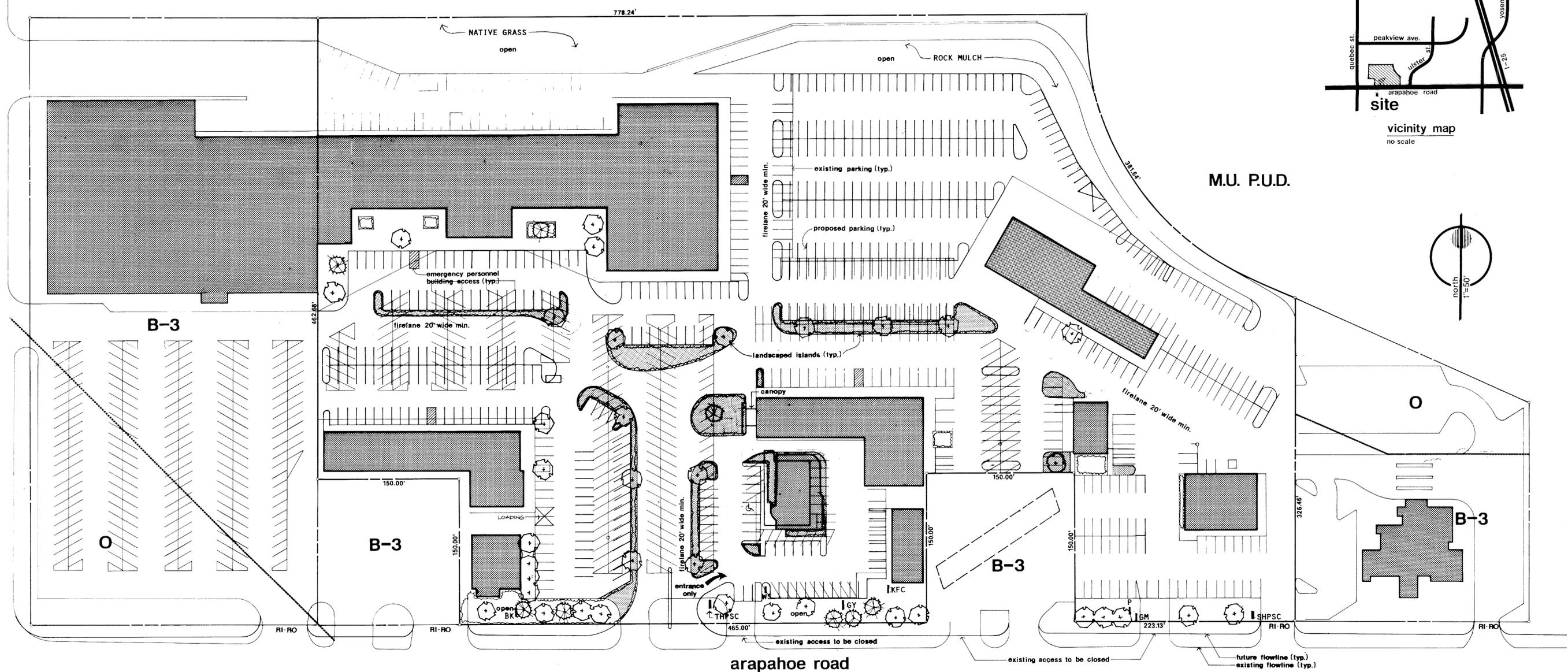


M.U. P.U.D.

M.U. P.U.D.



s. quebec street



Legend

- shrub bed
- deciduous tree
- evergreen tree
- sign

SHRUBS WERE ORIGINALLY PLANTED AT 5 GAL. SIZE;
DECIDUOUS TREES AT 2" - 3" CALIPER; EVERGREEN
TREES AT 6 - 8' HEIGHT.

Legal Description

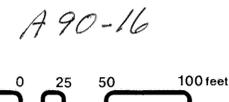
All of Lots 2 and 3, Block 1, WALNUT HILLS NORTH FILING NO. 1, Except 2 parcels of land described respectively in Book 1671 at Page 425, and in Book 1615 at Page 165; and EXCEPT that part of said Lots 2 and 3 lying West of a line described as follows: COMMENCING at the Southwest corner of said Subdivision, said corner being the Southwest corner of Section 21, Township 5 South, Range 67 West of the 6th P.M.; thence Easterly along the South line of said Subdivision, 340.26 Feet; thence on an angle to the left of 90 deg. 00'00" a distance of 66 Feet to the true point of beginning of line herein described; thence continuing along aforesaid course 90 deg. 00'00" a distance of 610.66 Feet to the North line of said Lot 2, and EXCEPT the following two parcels: COMMENCING at the Southwest corner of said Subdivision, said corner being the Southwest corner of Section 21, Township 5 South, Range 67 West of the 6th P.M.; thence South 89 deg. 59'08" East along the South line of said Subdivision a distance of 50.00 Feet; thence North 00 deg. 15'49" East and parallel to the West line of said Section 21 a distance of 60.00 Feet; thence South 89 deg. 59'08" East and along the North right of way line of Arapahoe Road a distance of 1346.78 Feet to the true point of beginning; thence South 89 deg. 59'08" East and continuing along the North right of way line of Arapahoe Road a distance of 169.70 Feet; thence North 00 deg. 00'52" East a distance of 276.24 Feet to the Southerly right of way line of South Spruce Street; thence North 85 deg. 56'12" West and along the said Southerly right of way line of South Spruce Street a distance of 184.74 Feet; thence South 00 deg. 00'52" West a distance of 295.83 Feet; to a point on the said North right of way line of Arapahoe Road and the true point of beginning, and COMMENCING at the Southwest corner of said Subdivision, said corner being the Southwest corner of Section 21, Township 5 South, Range 67 West of the 6th P.M.; thence South 89 deg. 59'08" East along the South line of said Subdivision a distance of 50.00 Feet; thence North 00 deg. 15'49" East and parallel to the West line of said Section 21 a distance of 60.00 Feet; thence South 89 deg. 59'08" East and along the North right of way line of Arapahoe Road a distance of 1214.78 Feet; to the true point of beginning; thence South 89 deg. 59'08" East and continuing along the North right of way line of Arapahoe Road a distance of 68.00 Feet; thence North 00 deg. 00'52" East a distance of 295.83 Feet to the Southerly right of way line of South Spruce Street; thence North 85 deg. 56'12" West and along the said Southerly right of way line of South Spruce Street a distance of 74.43 Feet; thence South 00 deg. 00'52" West a distance of 328.10 Feet to a point on the said North right of way line of Arapahoe Road and a point of true beginning.

Amendment History

- THIS 4TH ADMINISTRATIVE AMENDMENT TO THE PRELIMINARY/FINAL DEVELOPMENT PLAN FOR HERITAGE PLACE SHOPPING CENTER SETS FORTH THE FOLLOWING CHANGES AS DESCRIBED:
 - ADDS SITE DATA, PLANT MATERIAL, SIGN DATA, AND CLARIFIES THE TOTAL BUILDING SQUARE FOOTAGE PERMITTED FROM THE PREVIOUS PLAN 7/27/83
 - CASE NO. A83-21 - THIS INFORMATION WAS REFERENCED IN NOTE #4, 8/20/84 - CASE NO. A84-34, BUT WAS NOT SHOWN GRAPHICALLY.
 - SHOWS WORLD SAVINGS BUILDING MODIFICATION AND PARKING LAYOUT
 - UPDATES EXISTING CONDITIONS
- THE PREVIOUSLY APPROVED AMENDMENTS RELATED TO THE PRELIMINARY AND FINAL DEVELOPMENT PLANS FOR HERITAGE PLACE SHOPPING CENTER ARE AS FOLLOWS:
 - A84-34, APPROVED 8/20/84, 3RD ADMINISTRATIVE AMENDMENT TO THE PRELIMINARY AND FINAL DEVELOPMENT PLANS. SHOWED MODIFICATIONS TO REFLECT PARKING & ACCESS CHANGES REQUIRED DUE TO THE WIDENING OF ARAPAHOE ROAD.
 - A83-21, APPROVED 7/27/83, 1ST ADMINISTRATIVE AMENDMENT TO THE FINAL DEVELOPMENT PLAN
 - A82-33, APPROVED 9/20/82, ORIGINAL FINAL DEVELOPMENT PLAN
 - A81-19, APPROVED 7/27/81, 2ND ADMINISTRATIVE AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN
 - Z77-15, APPROVED 9/6/77, 1ST AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN, REZONED FROM B-3 TO MU
 - Z70-33, ORIGINAL PRELIMINARY DEVELOPMENT PLAN

Approvals

BOARD OF COUNTY COMMISSIONER APPROVAL
 THIS 4TH ADMINISTRATIVE AMENDMENT TO THE PRELIMINARY & FINAL DEVELOPMENT PLAN FOR HERITAGE PLACE SHOPPING CENTER APPROVED BY THE ARAPAHOE COUNTY BOARD OF COMMISSIONERS THIS 7th DAY OF SEPTEMBER, A.D., 1990
 CHAIRMAN: *Jeanie Jolly*
 ATTEST: *Mayor's Sign*



4th administrative amendment to the preliminary and final development plans for:
heritage place shopping center
 arapahoe county colorado

heritage place shopping center
 7635 e. arapahoe road
 englewood, colorado 80112

job number 7-90
 date 6-29-90

revisions (N14-B4)
 7-23-B4 LAJ
 7-26-B4 LAJ
 7-20-B4 CR16
 7-10-90 LA
 7-19-90 LA
 8-10-90 LA

sheet
1 of 2

plan west, inc.
 2755 south locust st. suite 117
 denver, colorado 80222 (303) 758-14
 consulting planners landscape architect

A 90
 16

Standard Notes

THE OWNER(S), DEVELOPER(S) AND/OR SUBDIVIDER(S) OF THE PRELIMINARY AND FINAL DEVELOPMENT PLAN KNOWN AS HERITAGE PLACE SHOPPING CENTER, THEIR RESPECTIVE SUCCESSORS, HEIRS, AND/OR ASSIGNS AGREE TO THE FOLLOWING NOTES:

STREET MAINTENANCE

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE DEDICATED ROADWAYS SHOWN ON THIS PLAN WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE OF THE RECORDING OF THIS PLAN. THE OWNERS, DEVELOPERS AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE COUNTY ACCEPTS THE RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

PRIVATE STREETS AND UTILITY EASEMENTS MAINTENANCE

THE OWNERS OF THE SUBDIVISION, THEIR SUCCESSORS, AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AND ALL EASEMENTS IE: CROSS ACCESS EASEMENTS, DRAINAGE EASEMENTS, DRIVES, PARKING AREAS, ETC.

EMERGENCY ACCESS NOTE

EMERGENCY ACCESS IS GRANTED HERewith OVER AND ACROSS ALL PAVED AREAS FOR POLICE, FIRE AND EMERGENCY VEHICLES.

DRAINAGE MAINTENANCE

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENTS. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO MAINTAINING THE SPECIFIED STORM WATER DETENTION/RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASINS. ARAPAHOE COUNTY SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME. IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED, THE COUNTY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

LANDSCAPE MAINTENANCE

THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING, LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE FENCE LINE/PROPERTY LINE AND ANY PAVED ROADWAYS.

SIGHT TRIANGLE MAINTENANCE

THE OWNERS OF PRIVATE PROPERTY CONTAINING A TRAFFIC SITE TRIANGLE ARE PROHIBITED FROM ERECTING OR GROWING ANY OBSTRUCTIONS OVER THREE FEET IN HEIGHT WITHIN SAID TRIANGLE AS MEASURED FROM THE HIGHEST CURB TOP ELEVATION DIRECTLY ADJACENT TO THE TRAFFIC SIGHT TRIANGLE.

Land Use Summary

EXISTING/PROPOSED USE RETAIL CENTER
 EXISTING/PROPOSED ZONING M.U. P.U.D.
 BUILDING HEIGHT ONE STORY, 20' MAX. HT.
 OFF-STREET PARKING 666 SPACES

EXISTING SITE DATA

	SQ.FT.	AC.	%
STRUCTURAL COVERAGE	86,605	1.99	17
PARKING & DRIVES	319,134	7.33	62
OPEN SPACE	110,447	2.53	21
TOTAL SITE	516,186	11.85	100

PROPOSED SITE DATA

	SQ.FT.	AC.	%
STRUCTURAL COVERAGE	86,905	2.00	17
PARKING & DRIVES	317,300	7.28	61
OPEN SPACE	111,981	2.57	22
TOTAL SITE	516,186	11.85	100

FLOOR AREA

TOTAL FLOOR AREA PERMITTED:	87,700 SF
EXISTING FLOOR AREA:	86,605 SF
PROPOSED BUILDING EXPANSION THIS AMENDMENT:	300 SF
FUTURE BUILDING AREA ALLOWED:	795 SF

NOTES:

- 1) AN ADDITIONAL 795 SF OF BUILDING AREA MAY BE PERMITTED IN ONE BUILDING OR ANY COMBINATION OF BUILDINGS UPON ARAPAHOE COUNTY PLANNING & ENGINEERING REVIEW
- 2) THE APPLICANT MAY EXPAND A BUILDING (OR COMBINATION OF BUILDINGS) BY NOT MORE THAN 795 SQUARE FEET SUBJECT TO ENGINEERING AND PLANNING DEPARTMENT REVIEW ONLY. NO DECREASE IN PARKING OR OPEN SPACE WOULD BE ALLOWED BY THIS STAFF REVIEW.

SIGN DATA

	SIGN HEIGHT	SIGN DIMENSIONS/ SQUARE FOOTAGE
GOOD YEAR (GY)	12'	7'x 9' = 63 SF / SIDE
BURGER KING (BK)	22'	10'x 12' = 120 SF / SIDE
KENTUCKY FRIED CHICKEN (KFC)	30'	8'x 13' = 104 SF / SIDE
PERKINS (P)	32'	14'x 16' = 224 SF / SIDE
GREASE MONKEY (GM)	8'	48 SF / SIDE
SMALL H.P.S.C. (SHPS)	9'	6'x 12' = 72 SF / SIDE
TALL H.P.S.C. (THPS)	30'	8'x 30' = 240 SF / SIDE
WORLD SAVINGS (WS)	33'	12'x 6' = 72 SF / SIDE

NEW FASCIA SIGNS WILL BE CONTROLLED BY THE THEN CURRENT ARAPAHOE COUNTY SIGN CODE.

A90-16



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